

DEVELOPMENT APPLICATION
PROPOSED MIXED USE DEVELOPMENT

Site area	=	2,070.3 sq m
Building area	=	1,126.8 sq m
Site cover	=	54.4 %
Gross floor area	=	8,222.4 sq m
Floor space ratio	=	3.8 : 1

FLOOR AREAS

	BLOCK A	BLOCK B
Basement Level 3*	= 804.8 sq m*	
Basement Level 2*	= 1,752.7 sq m*	
Basement Level 1	= 1,752.7 sq m*	
Ground Floor Level	= 252.5 sq m	= 308.2 sq m
Level 1	= 408 sq m	= 367.6 sq m
Level 2	= 416.3 sq m	= 367.6 sq m
Level 3	= 416.3 sq m	= 367.6 sq m
Level 4	= 416.3 sq m	
Level 5	= 416.3 sq m	
Level 6	= 416.3 sq m	
Level 7	= 416.3 sq m	
Level 8	= 332.1 sq m	
Level 9	= 332.1 sq m	
Level 10	= 332.1 sq m	
Level 11	= 332.1 sq m	
Level 12	= 332.1 sq m	
Level 13	= 332.1 sq m	
Level 14	= 332.1 sq m	
Level 15	= 332.1 sq m	
Level 16	= 332.1 sq m	
Level 17	= 332.1 sq m	
Level 18	= 332.1 sq m	

SUB TOTAL	= 6,811.4 sq m	= 1,411 sq m
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TOTAL	= 8,222.4 sq m	
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* indicates area NOT included in floor area calculations

LANDSCAPING SPACE PROVISIONS

	Residents Carspace	Adaptable Carspace	Commercial Carspace	Visitor Carspace	Disabled Visitor Carspace	Total Carspaces	Storage Spaces	Bicycle Bays
Basement Level 3	22					22	16	20
Basement Level 2	39	5				44	43	
Basement Level 1	20	5		18		43	32	
Ground Floor Level			5	1		6	9	
PROPOSED TOTAL	91	5		19		115	100	20

Landscaped Area (includes soft + deep soil landscaping)	=	684.4 sq m (33%)
Deep Soil	=	177.28 sq m (8.6%)
Communal Open Space	=	211 sq m (10%)

BASIX COMMITMENTS

The commitments set out below generally regulate how the proposed development is to be carried out - refer to BASIX Report for specific requirements:

Block A & B Commitments

(A) Unit Building

(i) Water

(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "indigenous species" column found in the BASIX certificate, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table also found in the BASIX Certificate)

(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table in the BASIX Certificate

(g) The pool or spa must be located as specified in the table in the BASIX Certificate

(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table in the BASIX certificate. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.

(ii) Energy

(b) The applicant must install each hot water system specified for the dwelling in the table in the BASIX Certificate, so that the dwellings hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwellings hot water is supplied by that central system

(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural Lighting" column of the table in the BASIX Certificate (but only to the extent specified for that room or area). The applicant must insure that each such room or area is filled with a window and/or skylight

(iii) Thermal Comfort

(g) Where there is an in-slab heating or cooling system, the applicant must:

(aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or

(bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.

(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table in the BASIX Certificate.

(B) Common areas and central systems/facilities

(i) Water

(b) The applicant must install (or insure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table in the BASIX Certificate. In each case, the system must be sized, be configured, and be connected, as specified in the table in the BASIX Certificate.

(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table in the BASIX Certificate.

(ii) Energy

(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table in the BASIX Certificate. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table in the BASIX Certificate.

THERMAL LOADS - UNIT: BEANE STREET/KEEVERS LANE GOSFORD NSW 2232				
BUILDING	FLOOR	NUMBER OF PLAN	HEATING	Cooling
Block A	Level 1	1	38.7	18.2
		2	12.7	22.1
		3	12.7	22.1
		4	12.7	22.1
		5	12.7	22.1
	Level 2	6	12.7	22.1
		7	12.7	22.1
		8	12.7	22.1
		9	12.7	22.1
		10	12.7	22.1
Block B	Level 3	11	38.7	18.2
		12	12.7	22.1
		13	12.7	22.1
		14	12.7	22.1
		15	12.7	22.1
	Level 4	16	12.7	22.1
		17	12.7	22.1
		18	12.7	22.1
		19	12.7	22.1
		20	12.7	22.1
Block C	Level 5	21	38.7	18.2
		22	12.7	22.1
		23	12.7	22.1
		24	12.7	22.1
		25	12.7	22.1
	Level 6	26	12.7	22.1
		27	12.7	22.1
		28	12.7	22.1
		29	12.7	22.1
		30	12.7	22.1
Block D	Level 7	31	38.7	18.2
		32	12.7	22.1
		33	12.7	22.1
		34	12.7	22.1
		35	12.7	22.1
	Level 8	36	12.7	22.1
		37	12.7	22.1
		38	12.7	22.1
		39	12.7	22.1
		40	12.7	22.1
Block E	Level 9	41	38.7	18.2
		42	12.7	22.1
		43	12.7	22.1
		44	12.7	22.1
		45	12.7	22.1
	Level 10	46	12.7	22.1
		47	12.7	22.1
		48	12.7	22.1
		49	12.7	22.1
		50	12.7	22.1
Block F	Level 11	51	38.7	18.2
		52	12.7	22.1
		53	12.7	22.1
		54	12.7	22.1
		55	12.7	22.1
	Level 12	56	12.7	22.1
		57	12.7	22.1
		58	12.7	22.1
		59	12.7	22.1
		60	12.7	22.1
Block G	Level 13	61	38.7	18.2
		62	12.7	22.1
		63	12.7	22.1
		64	12.7	22.1
		65	12.7	22.1
	Level 14	66	12.7	22.1
		67	12.7	22.1
		68	12.7	22.1
		69	12.7	22.1
		70	12.7	22.1
Block H	Level 15	71	38.7	18.2
		72	12.7	22.1
		73	12.7	22.1
		74	12.7	22.1
		75	12.7	22.1
	Level 16	76	12.7	22.1
		77	12.7	22.1
		78	12.7	22.1
		79	12.7	22.1
		80	12.7	22.1
Block I	Level 17	81	38.7	18.2
		82	12.7	22.1
		83	12.7	22.1
		84	12.7	22.1
		85	12.7	22.1
	Level 18	86	12.7	22.1
		87	12.7	22.1
		88	12.7	22.1
		89	12.7	22.1
		90	12.7	22.1
Block J	Level 19	91	38.7	18.2
		92	12.7	22.1
		93	12.7	22.1
		94	12.7	22.1
		95	12.7	22.1
	Level 20	96	12.7	22.1
		97	12.7	22.1
		98	12.7	22.1
		99	12.7	22.1
		100	12.7	22.1

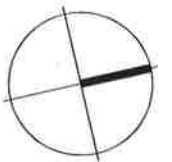
FLOOR	NUMBER OF PLAN	HEATING	COOLING	CRASH	
Ground	1	38.7	18.2	4.5	
	2	12.7	22.1	4.5	
	3	12.7	22.1	4.5	
	4	12.7	22.1	4.5	
	5	12.7	22.1	4.5	
	Level 1	6	12.7	22.1	4.5
		7	12.7	22.1	4.5
		8	12.7	22.1	4.5
		9	12.7	22.1	4.5
		10	12.7	22.1	4.5
Level 2	11	38.7	18.2	4.5	
	12	12.7	22.1	4.5	
	13	12.7	22.1	4.5	
	14	12.7	22.1	4.5	
	15	12.7	22.1	4.5	
Level 3	16	12.7	22.1	4.5	
	17	12.7	22.1	4.5	
	18	12.7	22.1	4.5	
	19	12.7	22.1	4.5	
	20	12.7	22.1	4.5	
Level 4	21	38.7	18.2	4.5	
	22	12.7	22.1	4.5	
	23	12.7	22.1	4.5	
	24	12.7	22.1	4.5	
	25	12.7	22.1	4.5	
Level 5	26	12.7	22.1	4.5	
	27	12.7	22.1	4.5	
	28	12.7	22.1	4.5	
	29	12.7	22.1	4.5	
	30	12.7	22.1	4.5	
Level 6	31	38.7	18.2	4.5	
	32	12.7	22.1	4.5	
	33	12.7	22.1	4.5	
	34	12.7	22.1	4.5	
	35	12.7	22.1	4.5	
Level 7	36	12.7	22.1	4.5	
	37	12.7	22.1	4.5	
	38	12.7	22.1	4.5	
	39	12.7	22.1	4.5	
	40	12.7	22.1	4.5	
Level 8	41	38.7	18.2	4.5	
	42	12.7	22.1	4.5	
	43	12.7	22.1	4.5	
	44	12.7	22.1	4.5	
	45	12.7	22.1	4.5	
Level 9	46	12.7	22.1	4.5	
	47	12.7	22.1	4.5	
	48	12.7	22.1	4.5	
	49	12.7	22.1	4.5	
	50	12.7	22.1	4.5	
Level 10	51	38.7	18.2	4.5	
	52	12.7	22.1	4.5	
	53	12.7	22.1	4.5	
	54	12.7	22.1	4.5	
	55	12.7	22.1	4.5	
Level 11	56	12.7	22.1	4.5	
	57	12.7	22.1	4.5	
	58	12.7	22.1	4.5	
	59	12.7	22.1	4.5	
	60	12.7	22.1	4.5	
Level 12	61	38.7	18.2	4.5	
	62	12.7	22.1	4.5	
	63	12.7	22.1	4.5	
	64	12.7	22.1	4.5	
	65	12.7	22.1	4.5	
Level 13	66	12.7	22.1	4.5	
	67	12.7	22.1	4.5	
	68	12.7	22.1	4.5	
	69	12.7	22.1	4.5	
	70	12.7	22.1	4.5	
Level 14	71	38.7	18.2	4.5	
	72	12.7	22.1	4.5	
	73	12.7	22.1	4.5	
	74	12.7	22.1	4.5	
	75	12.7	22.1	4.5	
Level 15	76	12.7	22.1	4.5	
	77	12.7	22.1	4.5	
	78	12.7	22.1	4.5	
	79	12.7	22.1	4.5	
	80	12.7	22.1	4.5	
Level 16	81	38.7	18.2	4.5	
	82	12.7	22.1	4.5	
	83	12.7	22.1	4.5	
	84	12.7	22.1	4.5	
	85	12.7	22.1	4.5	
Level 17	86	12.7	22.1	4.5	
	87	12.7	22.1	4.5	
	88	12.7	22.1	4.5	
	89	12.7	22.1	4.5	
	90	12.7	22.1	4.5	
Level 18	91	38.7	18.2	4.5	
	92	12.7	22.1	4.5	
	93	12.7	22.1	4.5	
	94	12.7	22.1	4.5	
	95	12.7	22.1	4.5	
Level 19	96	12.7	22.1	4.5	
	97	12.7	22.1	4.5	
	98	12.7	22.1	4.5	
	99	12.7	22.1	4.5	
	100	12.7	22.1	4.5	
Level 20	101	38.7	18.2	4.5	
	102	12.7	22.1	4.5	
	103	12.7	22.1	4.5	
	104	12.7	22.1	4.5	
	105	12.7	22.1	4.5	
Level 21	106	12.7	22.1	4.5	
	107	12.7	22.1	4.5	
	108	12.7	22.1	4.5	
	109	12.7	22.1	4.5	
	110	12.7	22.1	4.5	
Level 22	111	38.7	18.2	4.5	
	112	12.7	22.1	4.5	
	113	12.7	22.1	4.5	
	114	12.7	22.1	4.5	
	115	12.7	22.1	4.5	
Level 23	116	12.7	22.1	4.5	
	117	12.7	22.1	4.5	
	118	12.7	22.1	4.5	
	119	12.7	22.1	4.5	
	120	12.7	22.1	4.5	
Level 24	121	38.7	18.2	4.5	
	122	12.7	22.1	4.5	
	123	12.7	22.1	4.5	
	124	12.7	22.1	4.5	
	125	12.7	22.1	4.5	
Level 25	126	12.7	22.1	4.5	
	127	12.7	22.1	4.5	
	128	12.7	22.1	4.5	
	129	12.7	22.1	4.5	
	130	12.7	22.1	4.5	
Level 26	131	38.7	18.2	4.5	
	132	12.7</			



Site Analysis

0 3 6 15 m

True northpoint



Notes:

Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

NOTE:

- for more information regarding the site and its surrounds refer to the written site analysis statement
- refer to ground floor plan and survey drawings for site dimensions and bearings

ARCHITECTURAL CHARACTER :

refer to written site analysis statement



Location Map
N.T.S.

A Development Application	13.06.14
Issue description	Date

architex
Rydon Pty Ltd (t/a Architex)
abn: 52 033 315 142

Level 3, PK Parkes Street
Parramatta NSW 2150
email: architex.com.au
www.architex.com.au

T: 9633 5888
M: 0418 452 919

LOCAL AMENITIES

- 500m to Imperial Shopping Centre
- 300m to Gosford Train Station
- 200m to nearest Bus Stop (Beane Street)
- 700m to Gosford Hospital
- 500m to Waterview Park
- 600m to local Public Library
- 400m to Post Office
- 500m to nearest Place of Worship
- 2.5km to Chertsey Primary School
- 800m to Henry Kendall High School

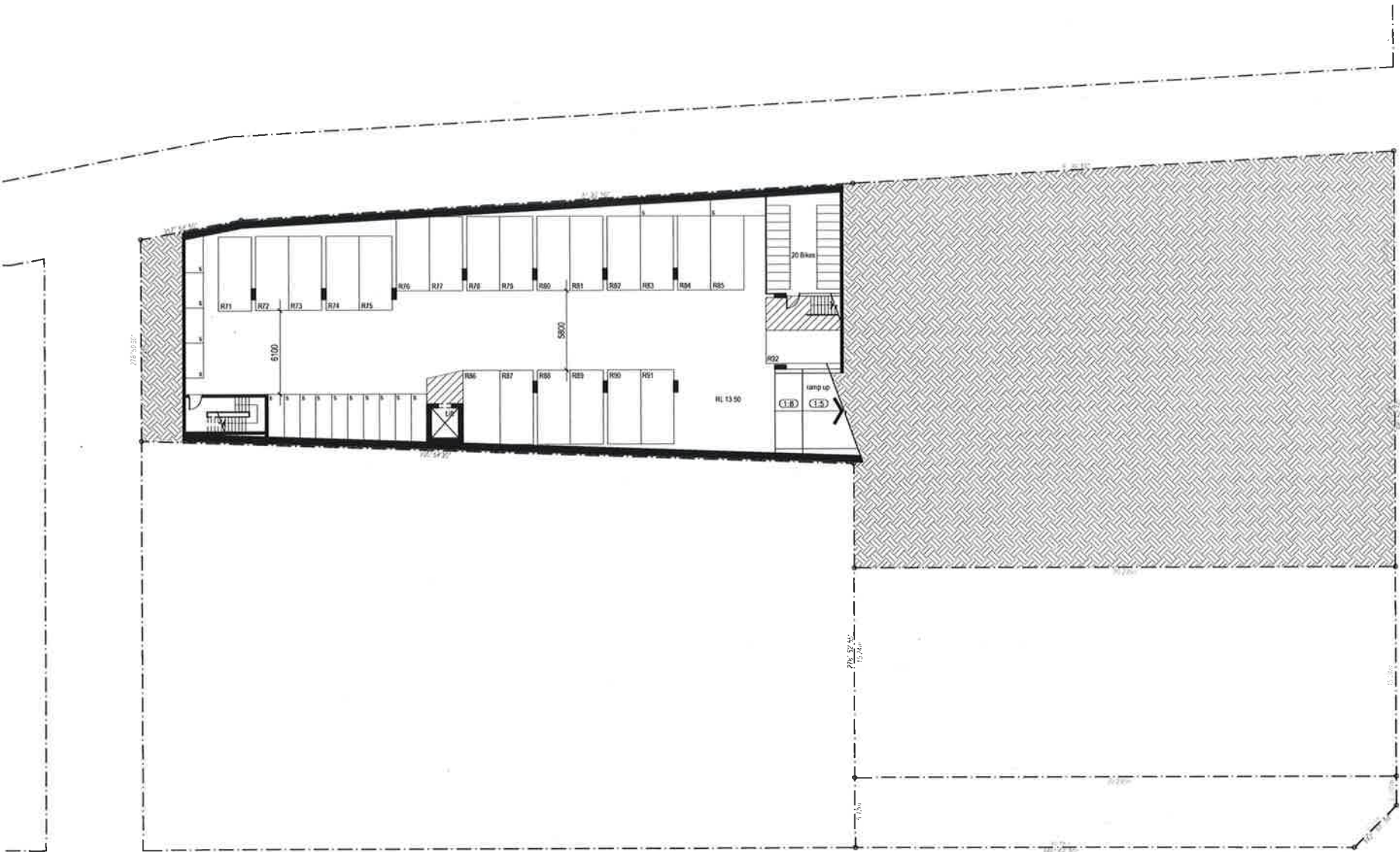
LEGEND

- PREVAILING WIND DIRECTION
- NUMBER OF STOREYS

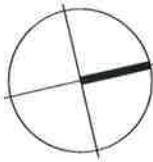
DEVELOPMENT APPLICATION

Project	Proposed Mixed Use Development		
Project address	43 - 45 Beane Street & 2 Keever Lane, Gosford		
Client	Wai He Chai & Lai King Chai		
Title	Site Analysis		
Drawn	Scale	Checked	
P.L.	1:300 @ A1		
Job No.	Drawing No.	Issue	
2172	DA01	A	

Basement Level 3



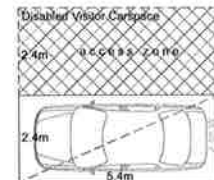
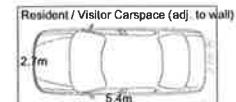
True northpoint



Notes

Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions

Carparking Legend



Note:
All disabled visitors carparking in accordance with AS2890.1 and adaptable residents parking in accordance with AS4299

Note:
All parking spaces are a minimum of 2.4m in width by 5.5m in length. Spaces increase to 2.7m in width where adjacent to a wall or an obstruction. Spaces increase to 3.0m where adjacent to walls on both sides. (in accordance with AS2890.1)

Note:
The internal driveway ramp widths, circulation aisles and vehicle turning areas shall be designed and constructed in accordance with AS2890.1 for two-way vehicle movements

A Development Application	13-08-14
Issue description	Date

architex
Ryellon Pty Ltd t/as Architex
abn 32 003 315 142

Level 3, 7K Parkes Street
Parramatta NSW 2150
email@architex.com.au
www.architex.com.au

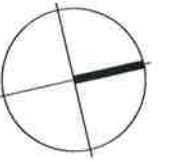
1 : 9633 5888
M : 0418 402 919

DEVELOPMENT APPLICATION

Project Proposed Mixed Use Development		
Project address 43 - 45 Beane Street & 2 Keever's Lane, Gosford		
Client Wai He Chai & Lai King Chai		
Title Basement Level 3		
Drawn P.L.	Scale 1:200 @ A1	Checked
Job No 2172	Drawing No DA02	Issue A

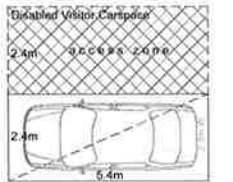
Note:
The internal driveway ramp widths, circulation aisles and vehicle turning areas shall be designed and constructed in accordance with AS2890.1 for two-way vehicle movements.
All security shutters to be controlled by residents with a remote key system access.
All underground parking areas to be painted white.

Legend	
RLXXX.XX	Structural Floor Level
x RLXXX.XX	Finished Reduced Level
1:10	Ramp Up Gradient

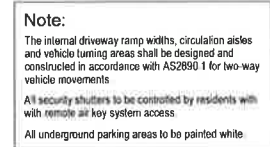


Do not scale, check and verify all dimensions before commencing new work.
ground levels may vary due to site conditions

Resident / Visitor Carspace

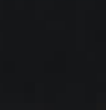


Note:
The internal driveway ramp widths, circulation aisles and vehicle turning areas shall be designed and constructed in accordance with AS2890.1 for two-way vehicle movements.



Legend

	Structural Floor Level
	Finished Reduced Level
	Ramp Up Gradient



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abn 32 003 315 142

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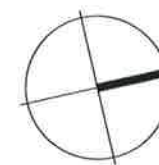
T : 9633 5869
M : 0418 402 919

DEVELOPMENT APPLICATION

Project Proposed Mixed Use Development		
Project address 43 - 45 Beane Street & 2 Keevers Lane, Gosford		
Client Wai He Chai & Lai King Chai		
Title Basement Level 2		
Drawing P.L	Scale 1:200 @ A1	Checked
Job No 2172	Drawing No DA03	Issue A

0 2 5 10 m

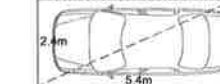
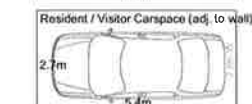
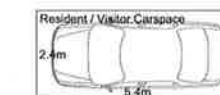
True northpoint



Notes

Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

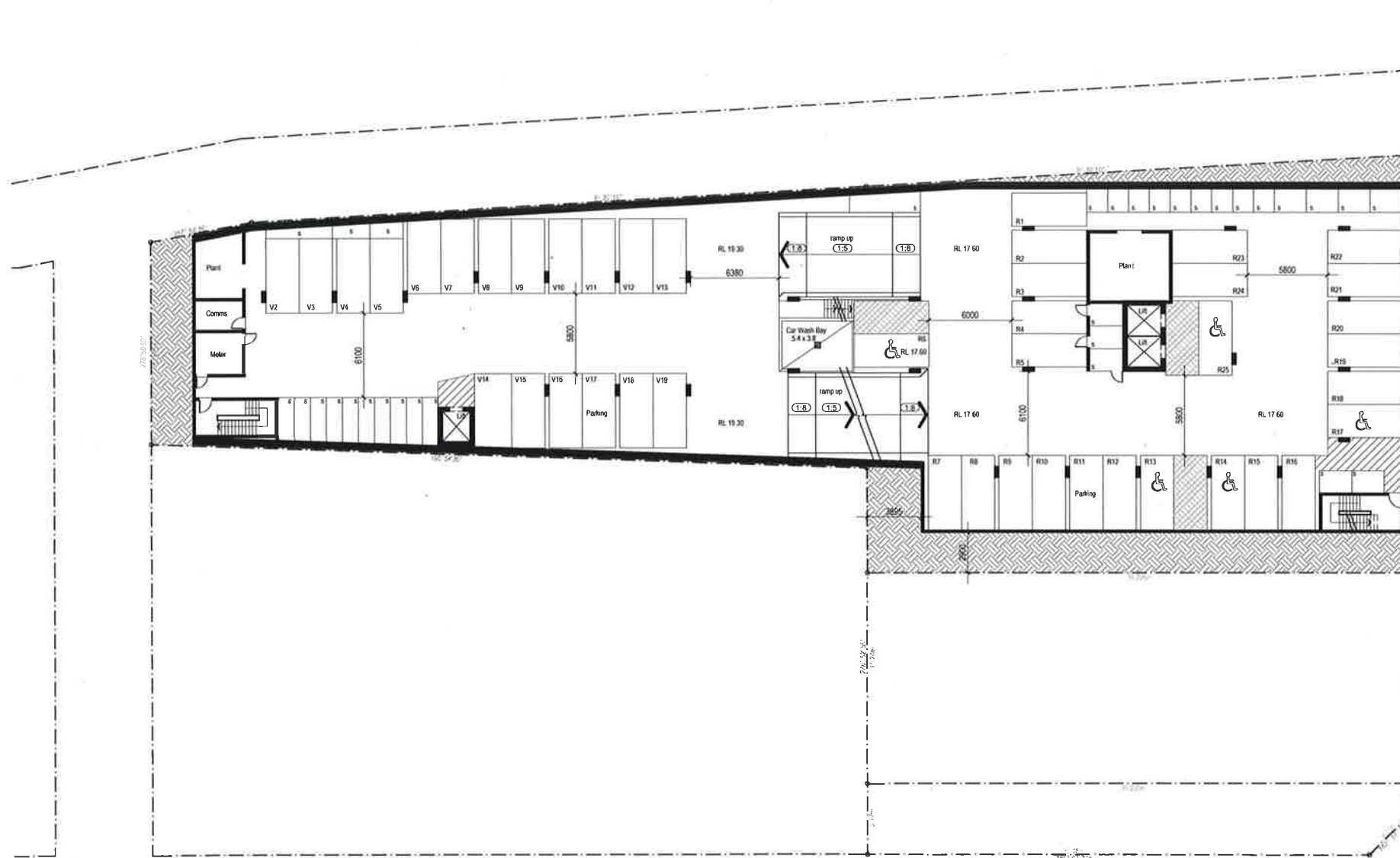
Carparking Legend



Note:
All disabled visitors carparking in accordance with AS2890.6 and adaptable residents parking in accordance with AS4299

Note:
All parking spaces are a minimum of 2.4m in width, by 5.5m in length. Spaces increase to 2.7m in width where adjacent to a wall or an obstruction. Spaces increase to 3.0m where adjacent to walls on both sides. (in accordance with AS2890.1)

Note:
The internal driveway ramp widths, circulation aisles and vehicle turning areas shall be designed and constructed in accordance with AS2890.1 for two-way vehicle movements



Note:
The internal driveway ramp widths, circulation aisles and vehicle turning areas shall be designed and constructed in accordance with AS2890.1 for two-way vehicle movements
All security shutters to be controlled by residents with with remote air key system access
All underground parking areas to be painted white.

Legend		
RLXXXX	Structural Floor Level	
RLXXXX	Finished Reduced Level	
1:8	Ramp Up Gradient	

A Development Application 13-08-14

Issue description Date



architex
bytelon pty ltd t/as Architex
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M : 0418 402 919

Project
Proposed Mixed Use Development

Project address
43 - 45 Beane Street & 2 Keever's Lane, Gosford

Client
Wai He Chai & Lai King Chai

Title
Basement Level 1

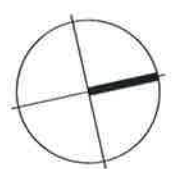
Drawn	Scale	Checked
P.L.	1:200 @ A1	
Job No	Drawing No	Issue
2172	DA04	A

DEVELOPMENT APPLICATION

Basement Level 1

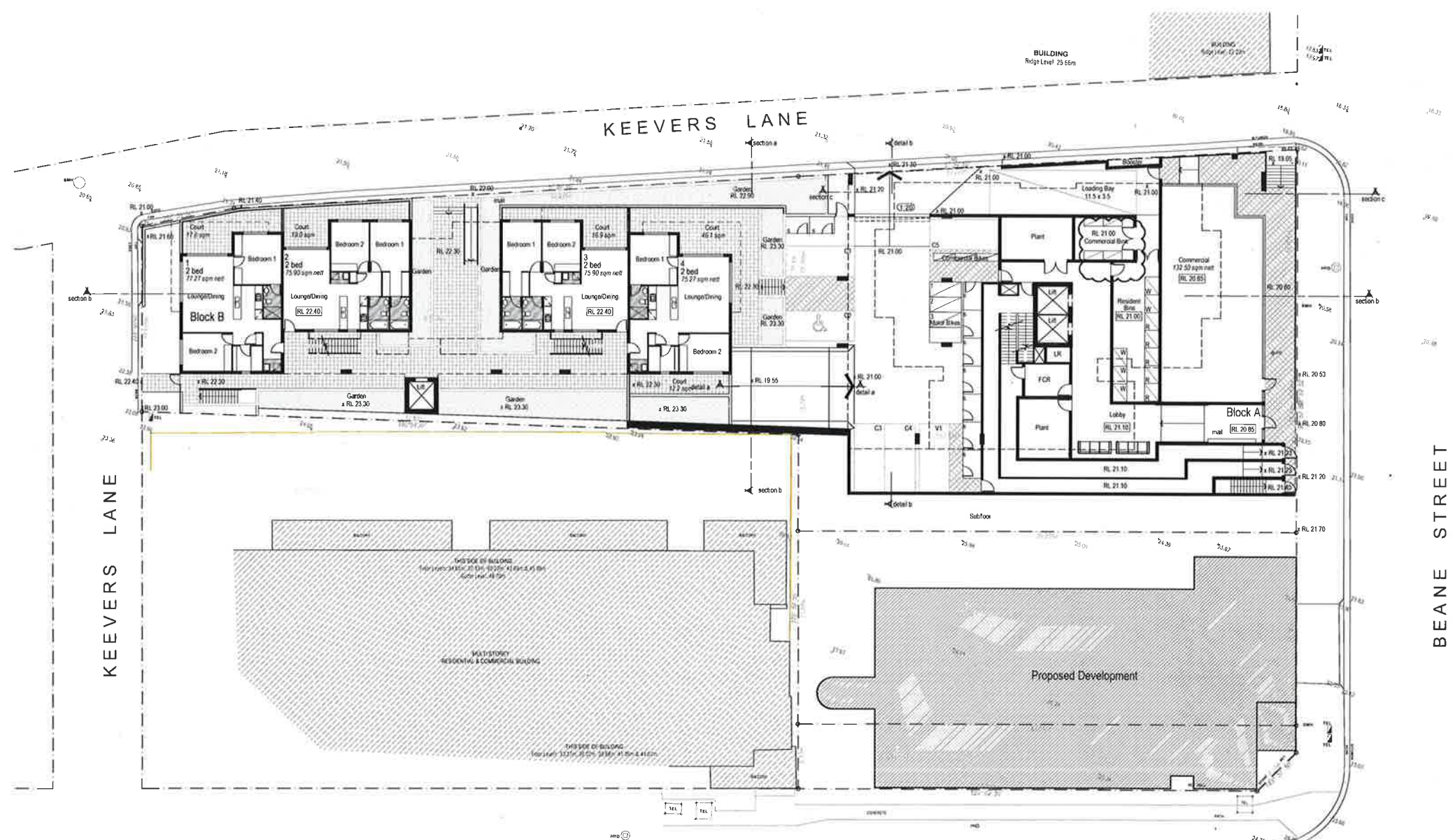


True northpoint



Notes

Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.



D	Bin room Access	14-01-15
C	Amendments addressing council letter dated 17-11-14	08-12-14
B	Amendments addressing council letter	08-10-14
A	Development Application	13-08-14

Issue description	Date
-------------------	------

architex
Ryelson Pty Ltd t/as Architex
obn 32 003 315 142

Level 3, 7K Packer Street
Parramatta NSW 2150
email@architex.com.au
www.architex.com.au

T : 9633 5666
M : 0418 402 919

DEVELOPMENT APPLICATION

Project		
Proposed Mixed Use Development		
Project address		
43 - 45 Beane Street & 2 Keever's Lane, Gosford		
Client		
Wai He Chai & Lai King Chai		
Title		
Site & Ground Floor Level		
Drawn	Scale	Checked
P.L	1:200 @ A1	
Job No.	Drawing No.	Issue
2172	DA05	D

Site & Ground Floor Plan

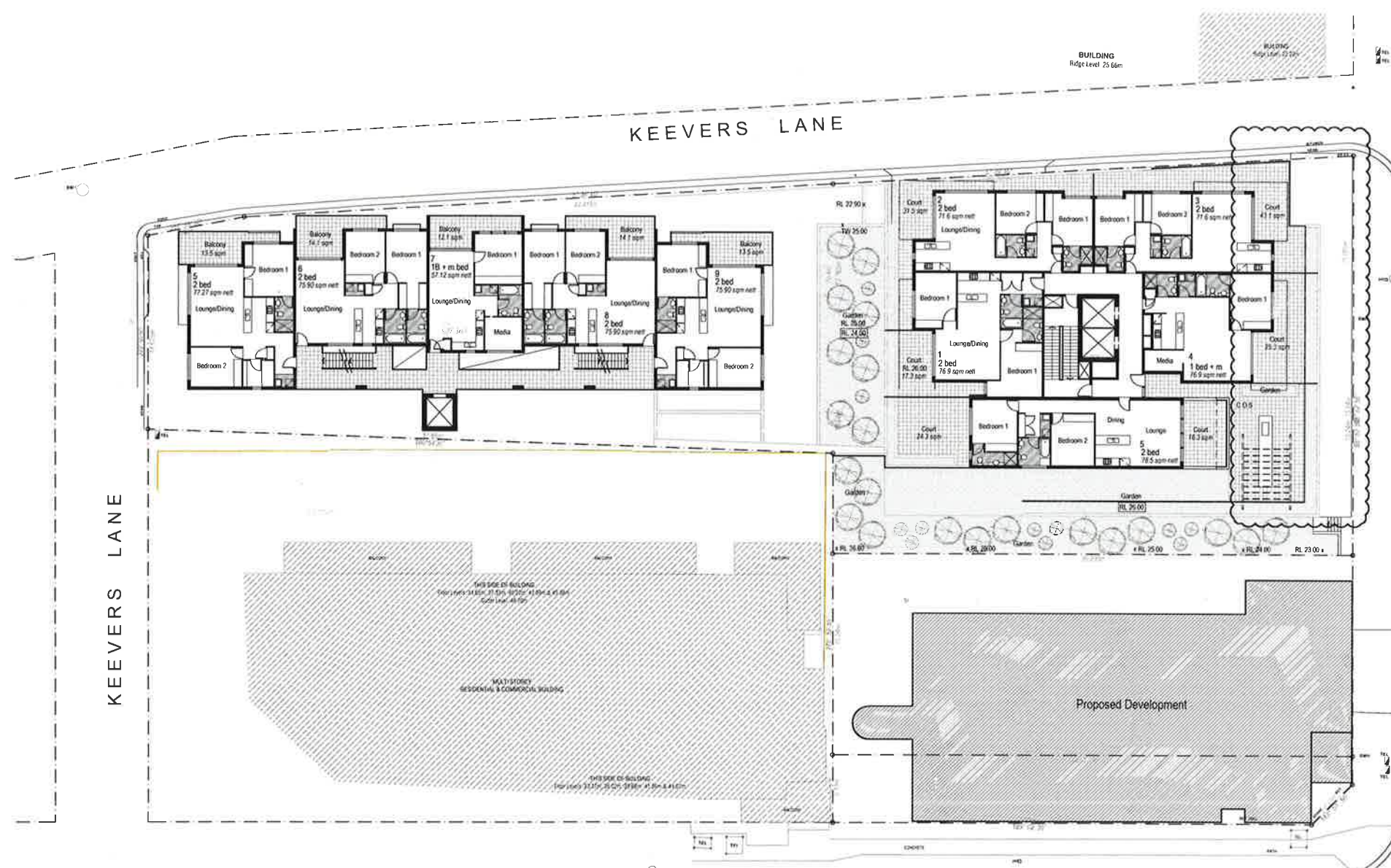
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100mm

True northpoint

Notes

Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions



Level 1

DEVELOPMENT APPLICATION

C	Amendments addressing council letter dated 17.11.14	08.12.14
B	Amendments addressing council letter	09.10.14
A	Development Application	13.08.14

architex

By Melton Pty Ltd (t/as Architex)
abn 32 003 315 142

Level 3, 7K Pakios Street
Parramatta NSW 2150
email@architex.com.au
www.architex.com.au

T 9633 6888
M 0418 402 919

Project	Proposed Mixed Use Development		
Project address	43 - 45 Beane Street & 2 Keevers Lane, Gosford		
Client	Wai He Chai & Lai King Chai		
Title			
Level 1			
Drawn	P.L	Scale	1:200 @ A1
Job No	2172	Drawing No	DA06
		Issue	C

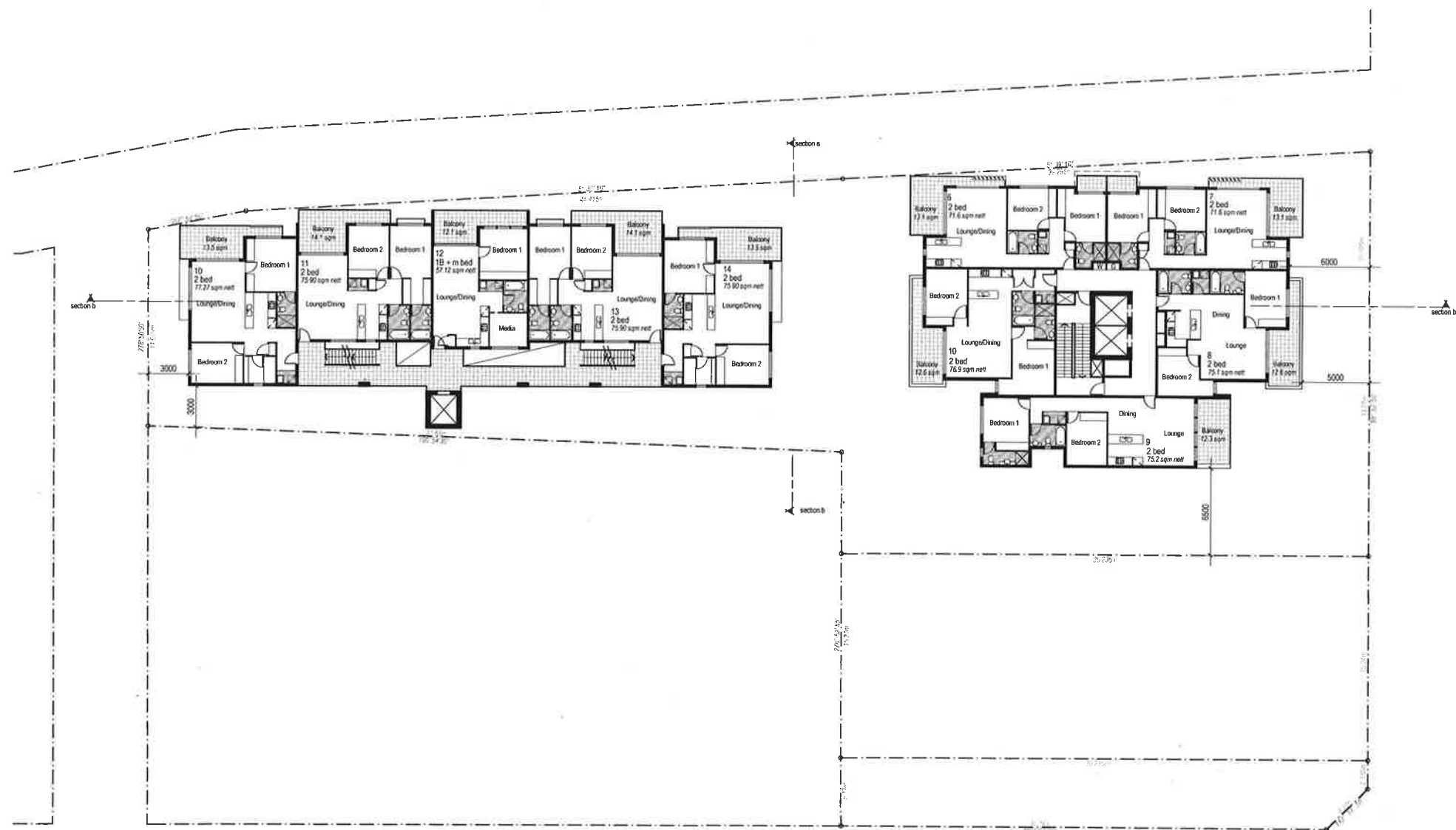
0 2 5 10 m

True north



Notes

Do not scale, check and verify all dimensions before commencing new work.
ground levels may vary due to site conditions



Level 2

DEVELOPMENT APPLICATION

A Development Application	13-06-14
Issue description	Date

architex
Nylatron Pty Ltd (trading as Architex)
abn 32 003 315 142

Level 3, 7K Parkes Street
Parramatta NSW 2150
email@architex.com.au
www.architex.com.au

T : 9433 5888
M : 0418 402 919

Project	Proposed Mixed Use Development		
Project address	43 - 45 Beane Street & 2 Keever's Lane, Gosford		
Client	Wai He Chai & Lai King Chai		
Title			
Level 2			
Drawn	Scale	Checked	
P.L	1:200 @ A1		
Job No	Drawing No	Issue	
2172	DA07	A	

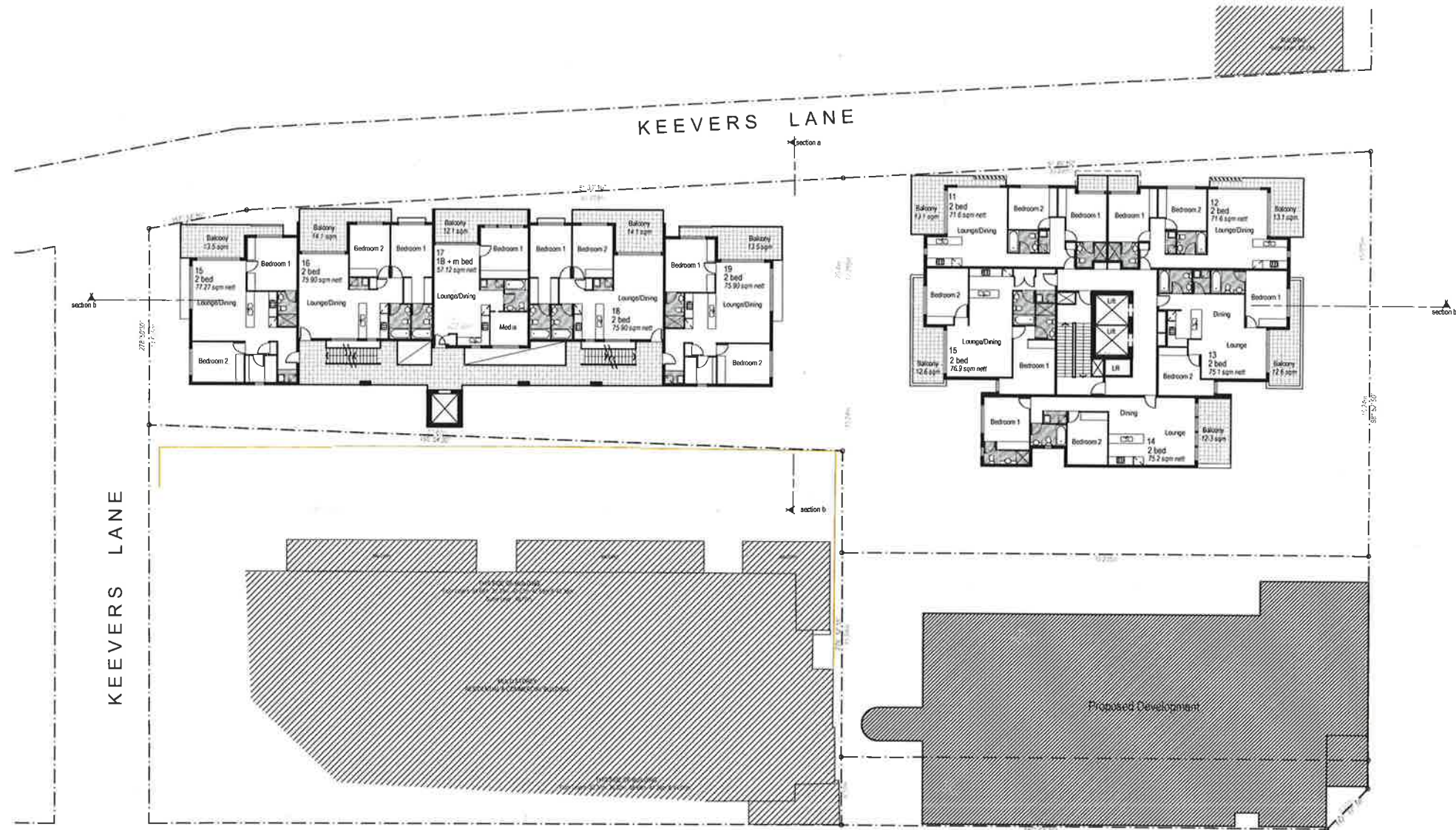


True northpoint



Notes

Do not scale, check and verify all dimensions
before commencing new work.
ground levels may vary due to site conditions



Level 3

DEVELOPMENT APPLICATION

A Development Application	13-08-14
Issue description	Date

architex
Byteton Pty Ltd Max Architek
abn 32 003 315 142

Level 3, 7K Parkes Street
Parramatta NSW 2150
email@architex.com.au
www.architex.com.au

T : 9433 5888
M : 0418 402 919

Project	Proposed Mixed Use Development	
Project address	43 - 45 Beane Street & 2 Keevers Lane, Gosford	
Client	Wai He Chai & Lai King Chai	
Title	Level 3	
Drawn	Scale	Checked
P.L	1:200 @ A1	
Job No.	Drawing No	Issue
2172	DA08	A

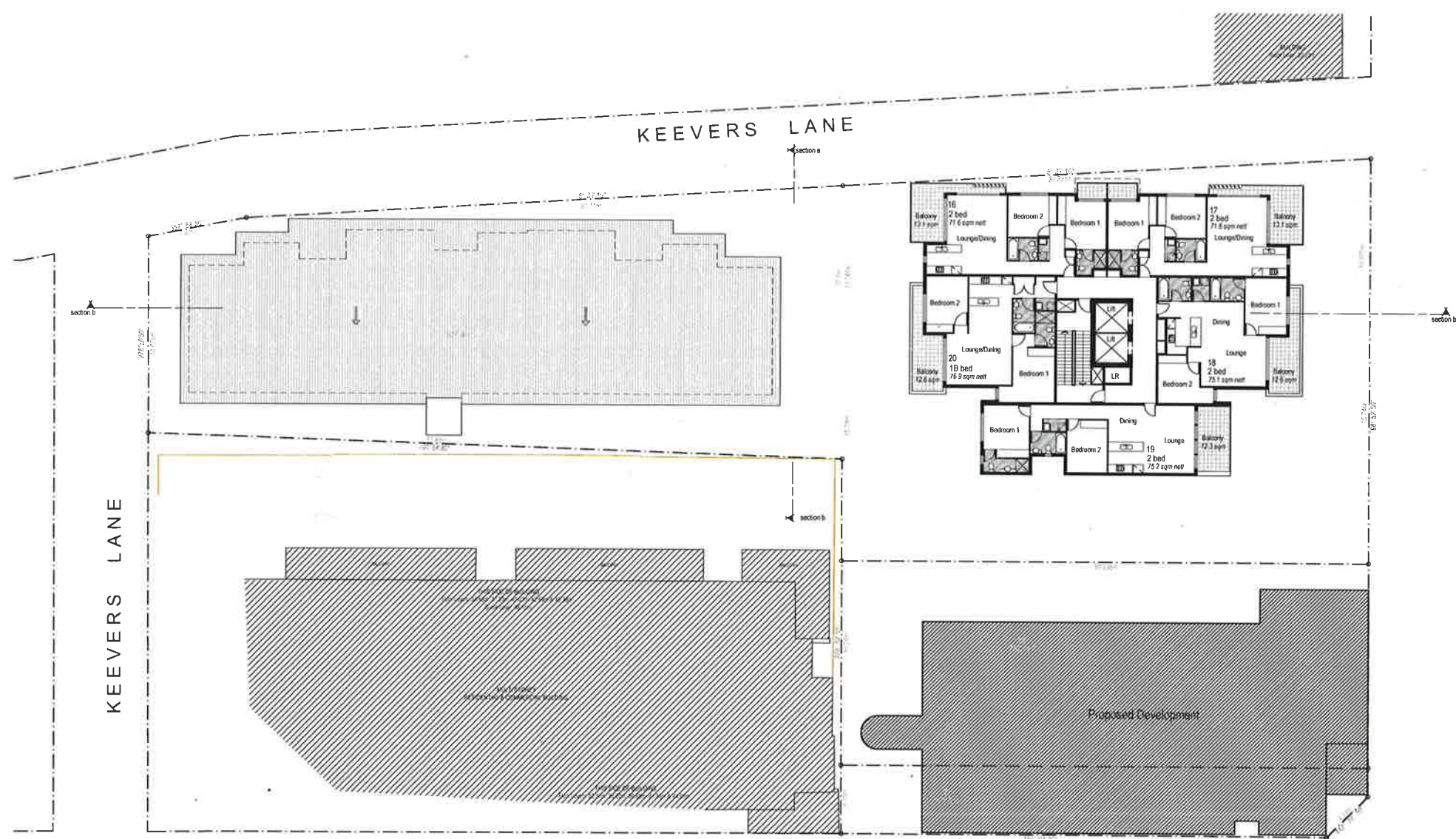


True northpoint



Notes:

Do not scale, check and verify all dimensions before commencing new work. Ground levels may vary due to site conditions.



Level 4

DEVELOPMENT APPLICATION

A Development Application	13.08.14
Issue description	Date

architex
Rykelon Pty Ltd (trading as Architex)
ABN 32 003 315 142

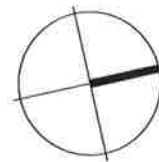
Level 3, 7K Parkes Street
Parramatta NSW 2150
email@architex.com.au
www.architex.com.au

1 9633 5888
M 0416 402 919

Project	Proposed Mixed Use Development		
Project address	43 - 45 Beane Street & 2 Keever's Lane, Gosford		
Client	Wai He Chai & Lai King Chai		
Title	Level 4		
Drawn	P.L.	Scale	1:200 @ A1
Job No.	2172	Drawing No.	DA09
		Issue	A

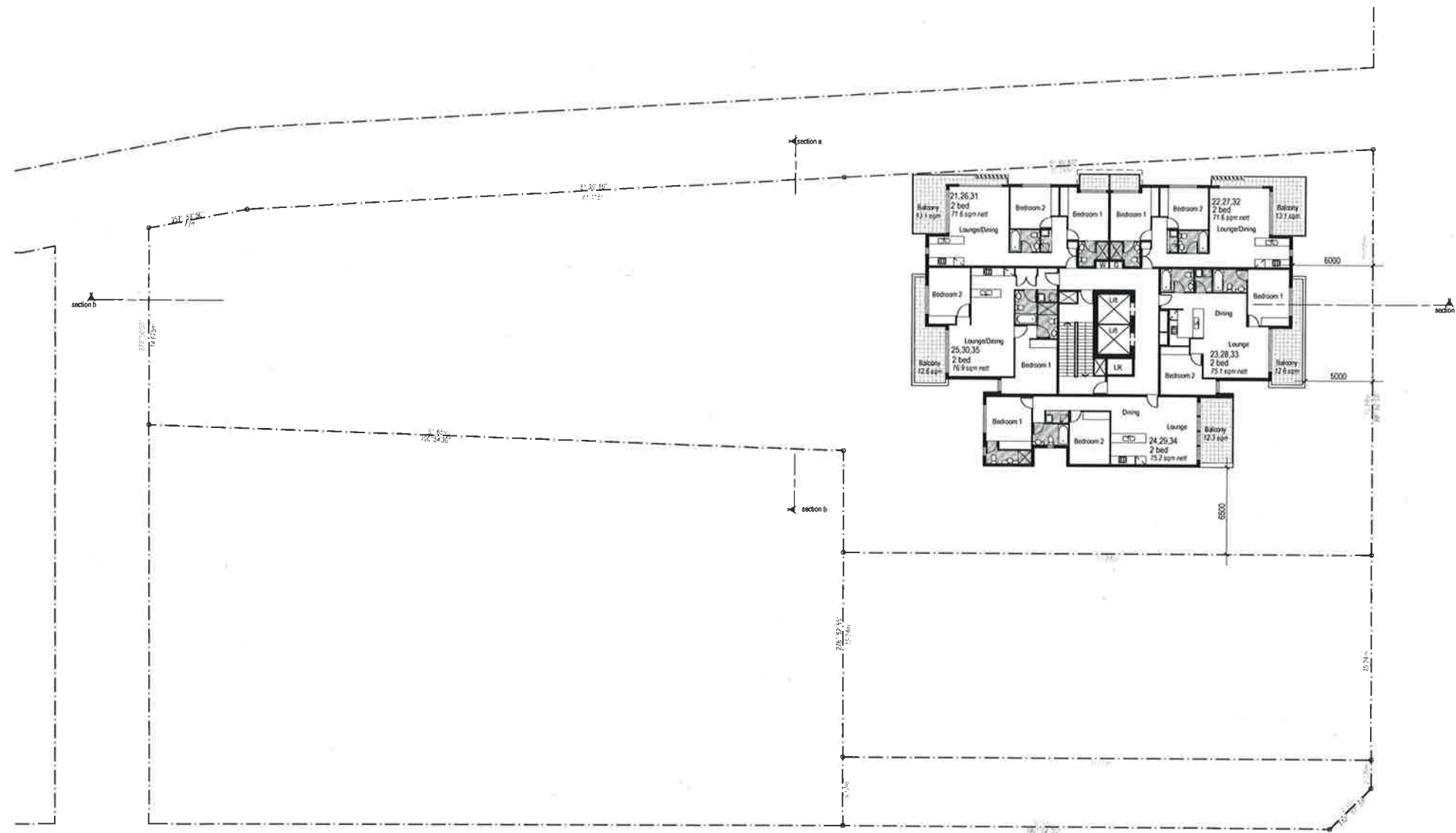


True northpoint



Notes

Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions



Level 5 - 7

DEVELOPMENT APPLICATION

A Development Application	13-08-14
Issue description	Date



architex
Ryde City Pty Ltd Use Architex
abn 32 003 315 142

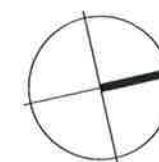
Level 3, 3X Parkside Street
Ryde NSW 2150
email@architex.com.au
www.architex.com.au

T : 9633 5888
M : 0418 402 919

Project	Proposed Mixed Use Development	
Project address	43 - 45 Beane Street & 2 Keever Lane, Gosford	
Client	Wai He Chai & Lai King Chai	
Title	Level 5 - 7	
Drawn	Scale	Checked
P.L	1:200 @ A1	
Job No	Drawing No	Issue
2172	DA10	A

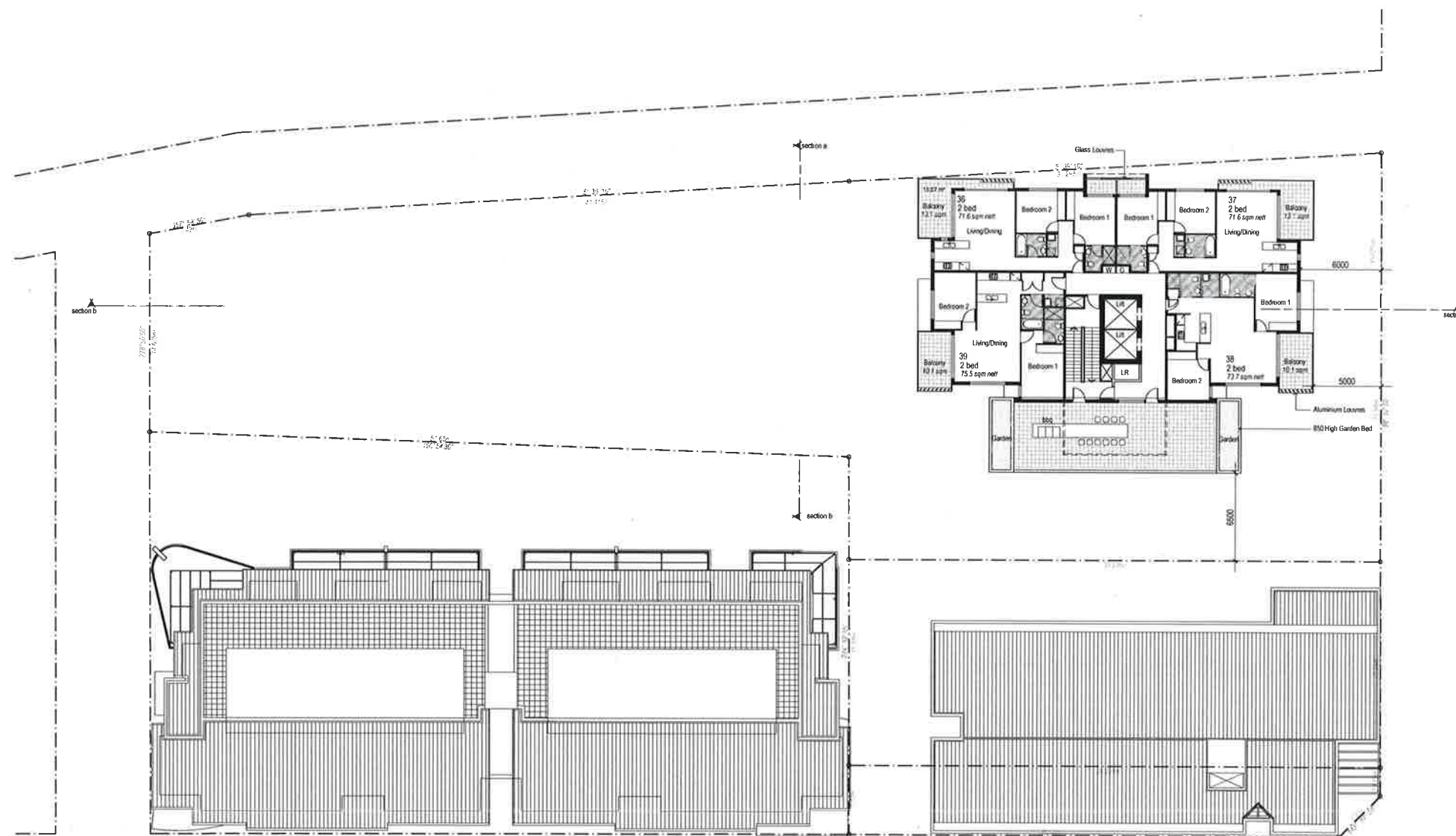
0 2 5 10 m

True northpoint



Notes

Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions



Level 8

A Development Application	13-08-14
Issue description	Date

architex
 Pty Ltd
 32/003 315 142
 Level 3, 74 Parkes Street
 Parramatta NSW 2150
 email@architex.com.au
 www.architex.com.au

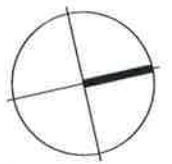
T : 9633 5686
 M : 0416 402 919

DEVELOPMENT APPLICATION

Project Proposed Mixed Use Development		
Project address 43 - 45 Beane Street & 2 Keevers Lane, Gosford		
Client Wai He Chai & Lai King Chai		
Title Levels 8		
Drawn P L	Scale 1:200 @ A1	Checked
Job No	Drawing No	Issue
2172	DA11	A

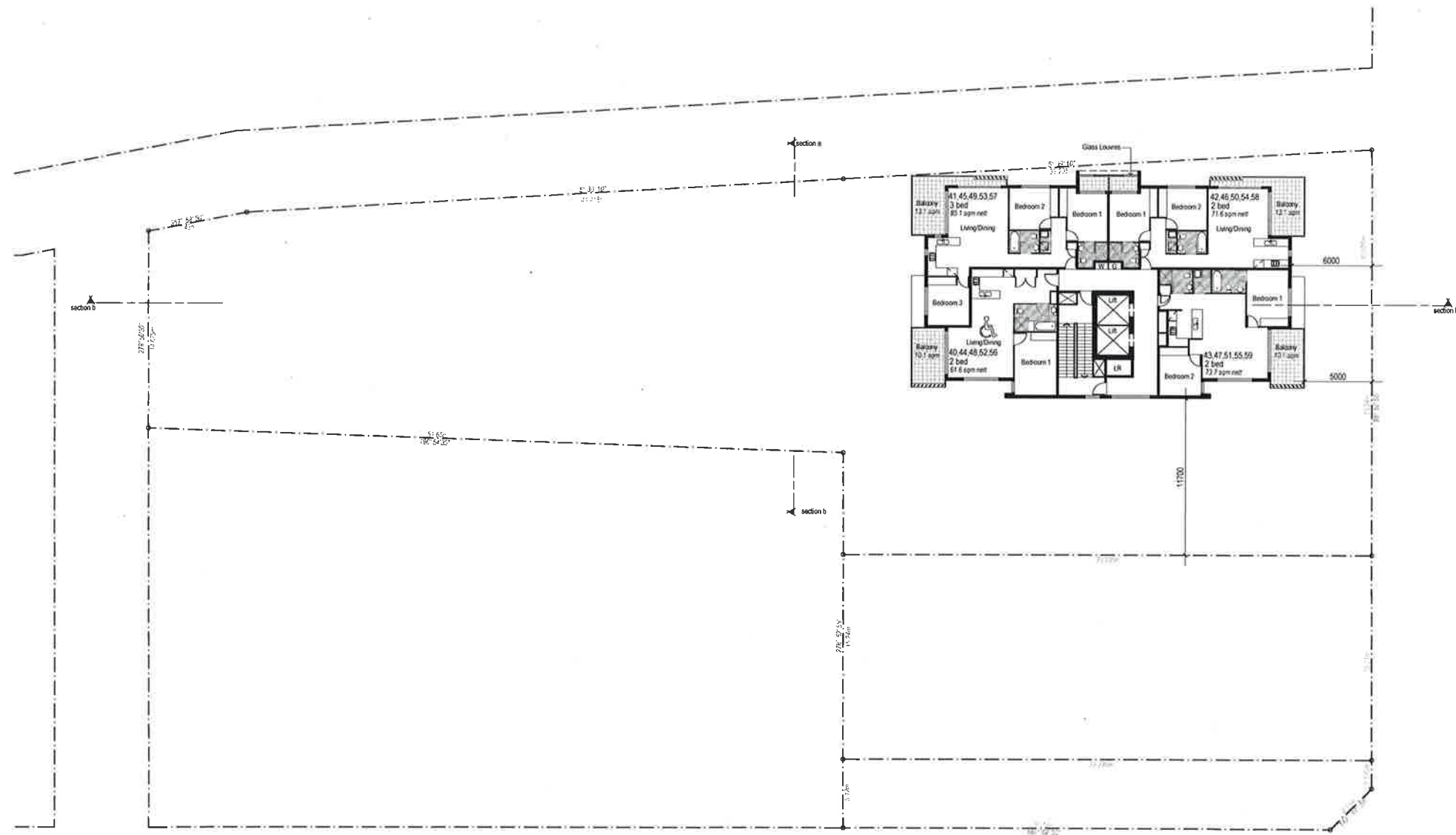


True northpoint



Notes

Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.



Level 9 - 13

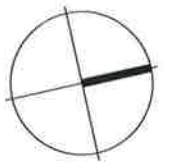
DEVELOPMENT APPLICATION

A Development Application	13-08-14
Issue description	Date
 architex Melton Pty Ltd Vias Architex abn 32 008 315 142 Level 3, 74 Parkes Street Parramatta NSW 2150 email@architex.com.au www.architex.com.au	
1 : 9633 5888 M : 0418 402 919	

Project Proposed Mixed Use Development		
Project address 43 - 45 Beane Street & 2 Keever's Lane, Gosford		
Client Wai He Chai & Lai King Chai		
Title Levels 9 - 13		
Drawn P.L	Scale 1:200 @ A1	Checked
Job No 2172	Drawing No DA12	Issue A

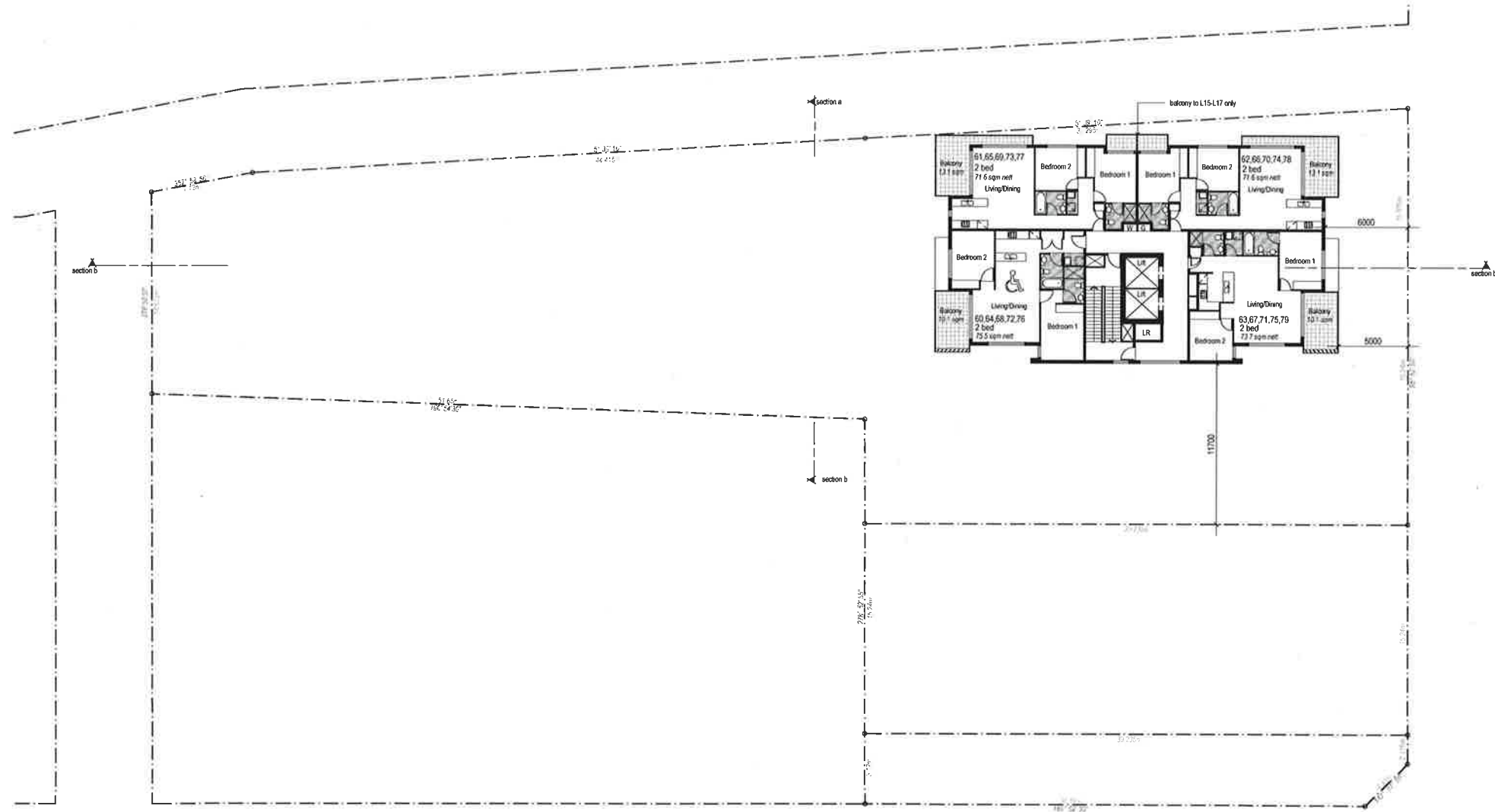


True northpoint



Notes

Do not scale, check and verify all dimensions before commencing new work. ground levels may vary due to site conditions



Levels 14 - 18

DEVELOPMENT APPLICATION

A Development Application	13-08-14
Issue description	Date

architex
Sydney Pty Ltd Ustr Architex
abn 32 003 315 142

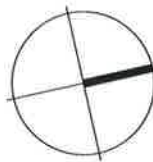
Level 3, 74 Parkes Street
Parramatta NSW 2150
email@architex.com.au
www.architex.com.au

1 : 9433 5888
M : 0418 402 919

Project	Proposed Mixed Use Development	
Project address	43 - 45 Beane Street & 2 Keever's Lane, Gosford	
Client	Wai He Chai & Lai King Chai	
Title	Levels 14 - 18	
Drawn	Scale	Checked
P.L	1:200 @ A1	
Job No	Drawing No	Issue
2172	DA13	A

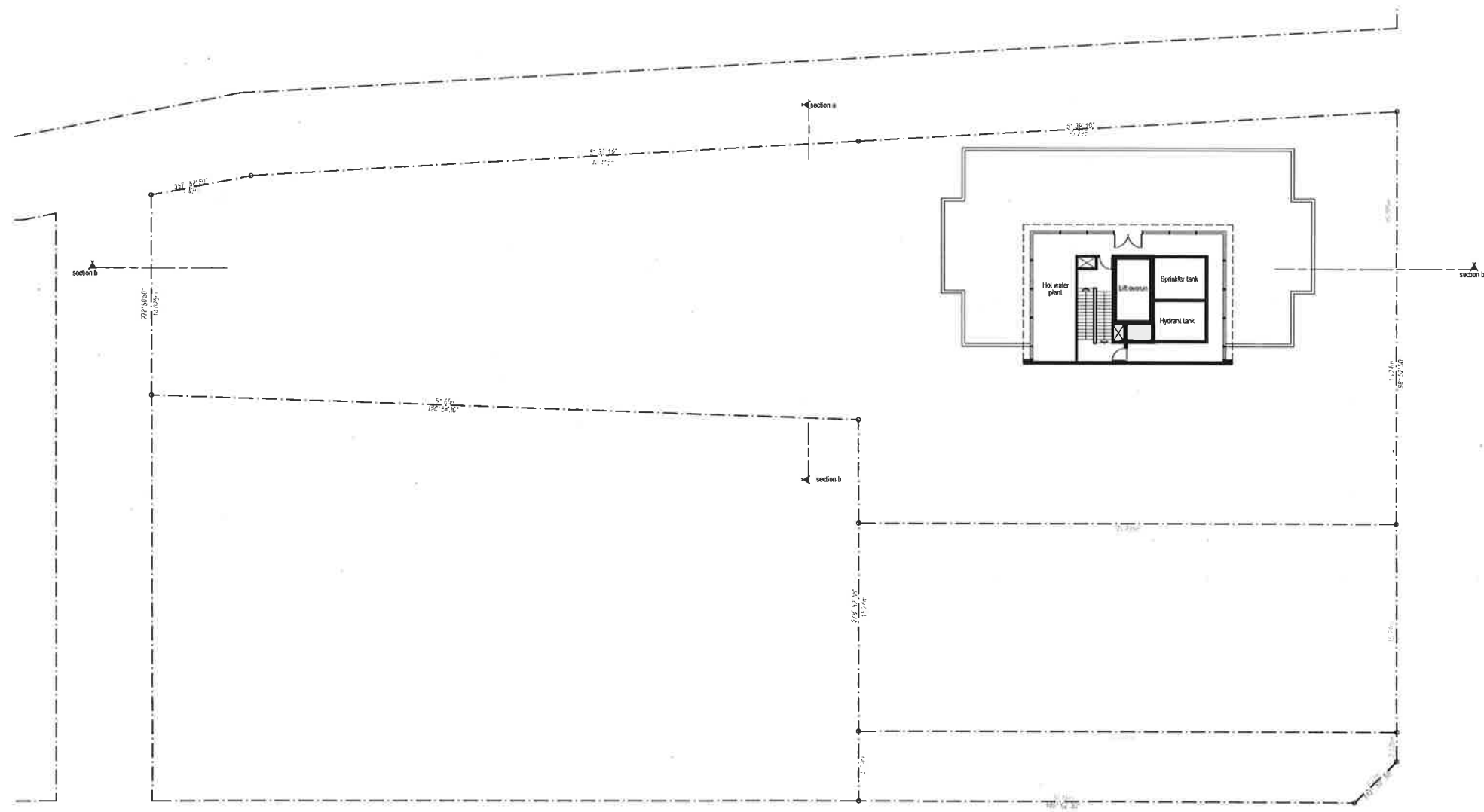


True northpoint



Notes

Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions



Plant Level

DEVELOPMENT APPLICATION

A Development Application	13-08-14
Issue description	Date

architex
Ryelson pty ltd t/as Architex
abn 32 003 315 142

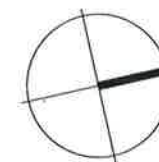
Level 3, 7K Parkes Street
Parramatta NSW 2150
email@architex.com.au
www.architex.com.au

T : 9633 5886
M : 0418 402 919

Project	Proposed Mixed Use Development	
Project address	43 - 45 Beane Street & 2 Keevers Lane, Gosford	
Client	Wai He Chai & Lai King Chai	
Site	Plant Level	
Drawn	Scale	Checked
P.L	1:200 @ A1	
Job No	Drawing No	Issue
2172	DA14	A

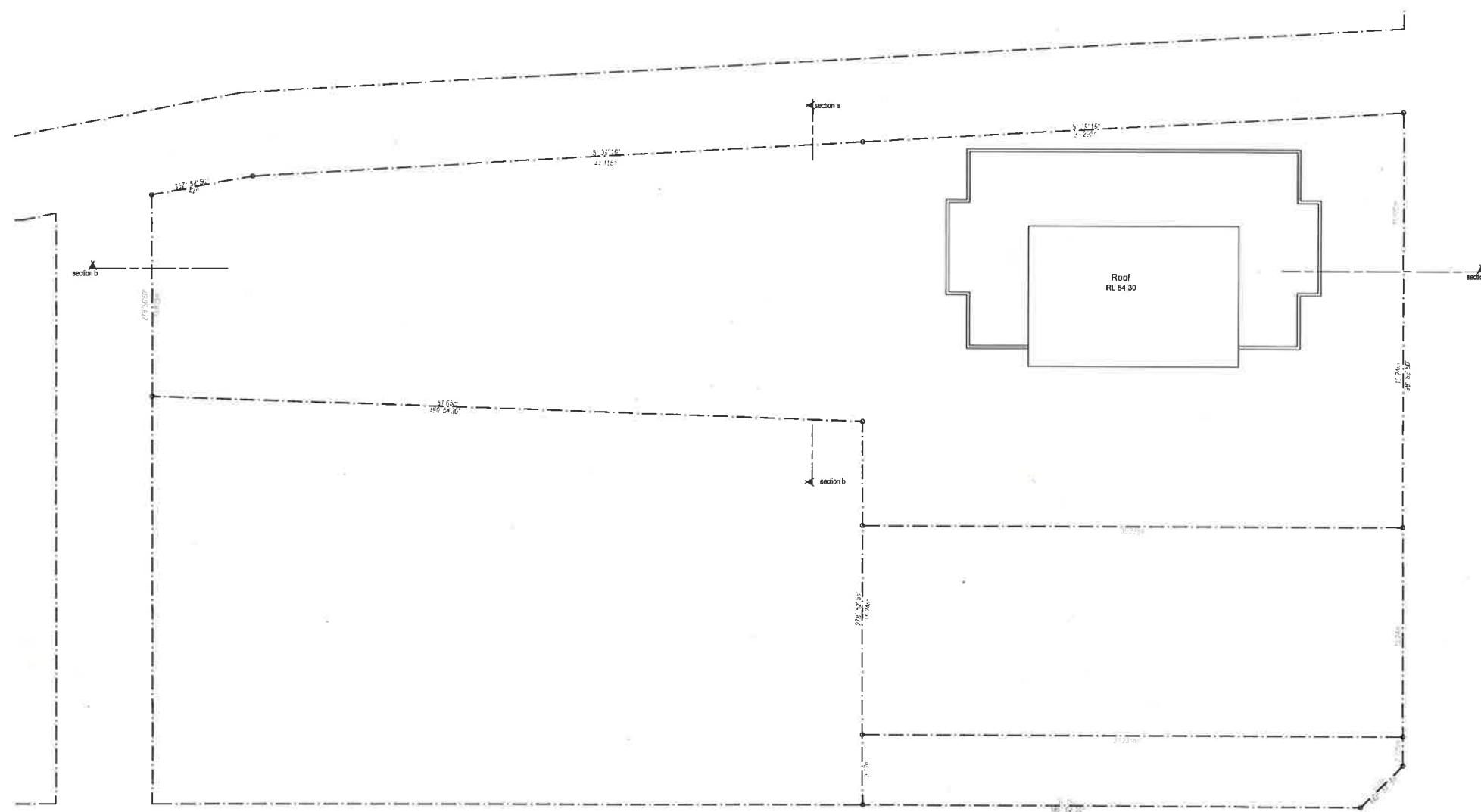


True north point



Notes

Do not scale, check and verify all dimensions
before commencing new work,
ground levels may vary due to site conditions



Roof Plan

A Development Application	13-08-14
Issue description	Date

architex
Hydrex Pty Ltd t/a Architex
abn 32 003 315 142

Level 3, 74 Pokes Street
Paramatta NSW 2150
email@architex.com.au
www.architex.com.au

T : 9633 5888
M : 0418 402 919

DEVELOPMENT APPLICATION

Project	Proposed Mixed Use Development		
Project address	43 - 45 Beane Street & 2 Kaewers Lane, Gosford		
Client	Wai He Chai & Lai King Chai		
Title	Roof Plan		
Drawn	Scale	Checked	
P.L	1:200 @ A1		
Job No	Drawing No	Issue	
2172	DA15	A	

Notes
Do not scale, check and verify all dimensions
before commencing new work.
ground levels may vary due to site conditions.

LEGEND
EXTERNAL MATERIALS + FINISHES

- (P1) PAINT FINISH 1
Dulux Endless Dusk
PG1.F3
- (P2) PAINT FINISH 2
Dulux Thomas Thalis PW1.B9
- (P3) PAINT FINISH 3
Dulux Oolong PG2.G8
- (P4) PAINT FINISH 4
Dulux Ducal P05.E8
- (P5) PAINT FINISH 5
Dulux Calico Dress P38.E8
- (P6) PAINT FINISH 6
Dulux Simone Weil PG1.A4
- (PC1) WINDOW FRAMES + BALUSTRADES + LOUVRES
Dulux Powdercoat
Eternity Powder Pearl - Satin
- (ACT) VITRABOND
Sparkling Dark Grey 455
- (ACT) VITRABOND
Sparkling Dark Grey 455
- (CP1) PRE-FINISH FC PANELS
Cerama panel natura pro
Nr 250 Natural Grey
- (STS1) DECOR STACKED STONE
Onyx
- (STS2) DECOR STACKED STONE
Bisque
- (G1) BALUSTRADES
Grey Tint Glass

C	Amendments addressing council letter dated 17.11.14	08-12-14
B	Amendments addressing council letter	08-10-14
A	Development Application	13-08-14

Issue description Date

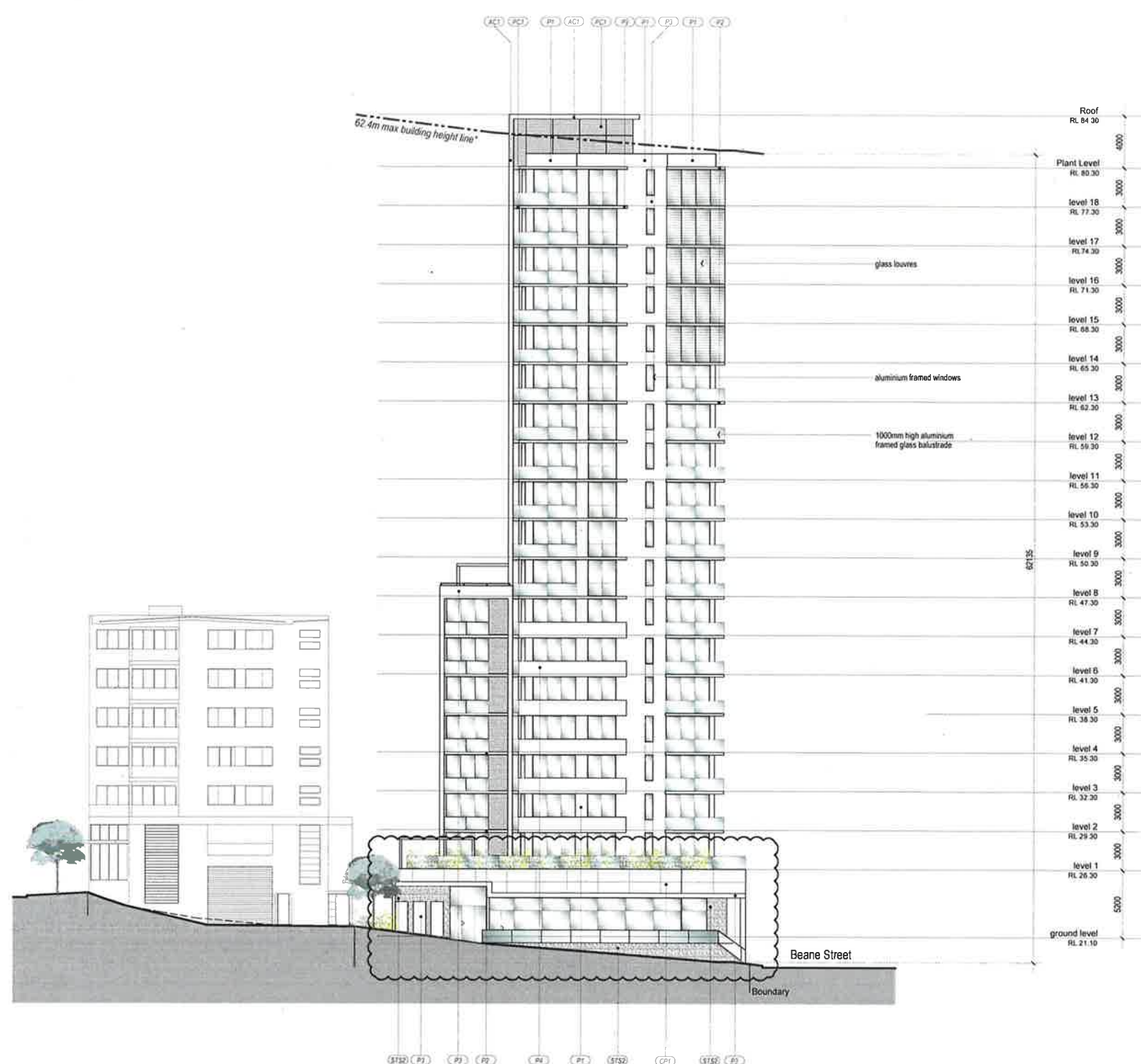
architex
Ryeford Pty Ltd (t/a Architex)
abn 32 003 315 142

Level 3, 7K Pokes Street
Parramatta NSW 2150
email@architex.com.au
www.architex.com.au

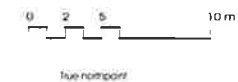
T : 9633 5858
M : 0418 402 919

DEVELOPMENT APPLICATION

Project Proposed Mixed Use Development		
Project address 43 - 45 Beane Street & 2 Keevers Lane, Gosford		
Client Wai He Chai & Lai King Chai		
Title Elevations		
Drawn P L	Scale 1:200 @ A1	Checked
Job No 2172	Drawing No DA16	Issue C



Beane Street North Elevation



Notes

Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

LEGEND EXTERNAL MATERIALS + FINISHES

- P1** PAINT FINISH 1
Dulux Endless Dusk
PG1.F3
- P2** PAINT FINISH 2
Dulux Thomas Thalls PW1.B9
- P3** PAINT FINISH 3
Dulux Oolong PG2.G8
- P4** PAINT FINISH 4
Dulux Duca! P05.E8
- P5** PAINT FINISH 5
Dulux Calico Dress P38.E8
- P6** PAINT FINISH 6
Dulux Simone Well PG1.A4
- PC1** WINDOW FRAMES + BALUSTRADES + LOUVRES
Dulux Powdercoat
Eternity Pewter Pearl - Satin
- AC1** VITRABOND
Sparkling Dark Grey 455
- AC1** VITRABOND
Sparkling Dark Grey 455
- CP1** PRE-FINISH FC PANELS
Cerama panel natura pro
Nu 250 Natural Grey
- STS 1** DECOR STACKED STONE
Onyx
- STS 2** DECOR STACKED STONE
Bisque
- G1** BALUSTRADES
Grey Tint Glass

C	Amendments addressing council letter dated 17.11.14	08-12-14
B	Amendments addressing council letter	09-10-14
A	Development Application	13-06-14

Issue description	Date
-------------------	------

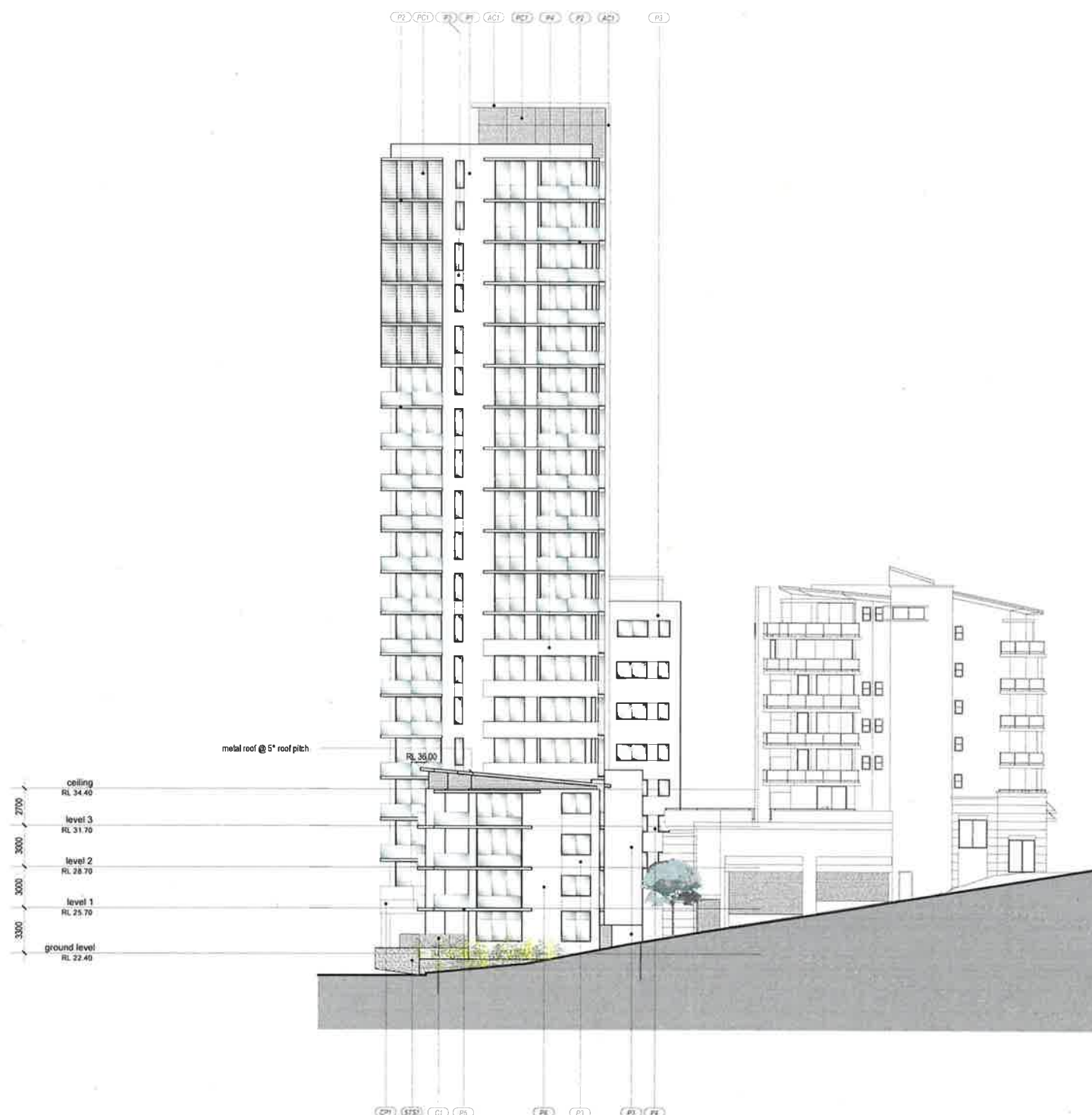
architex
By Melon Pty Ltd UoX Architex
abn 32 003 315 142

Level 3, 74 Pokies Street
Paramatlo NSW 2150
email@architex.com.au
www.architex.com.au

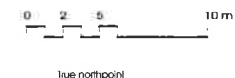
T : 9533 5888
M : 0418 402 919

DEVELOPMENT APPLICATION

Project		
Proposed Mixed Use Development		
Project address		
43 - 45 Beane Street & 2 Keevers Lane, Gosford		
Client		
Wai He Chai & Lai King Chai		
Title		
Elevations		
Drawn	Scale	Checked
P.L	1:200 @ A1	
Job No	Drawing No	Issue
2172	DA17	C



Keevers Lane South Elevation



Notes
Do not scale, check and verify all dimensions
before commencing new work,
ground levels may vary due to site conditions.

LEGEND EXTERNAL MATERIALS + FINISHES

- P1** PAINT FINISH 1
Dulux Endless Dusk
PG1 F3
- P2** PAINT FINISH 2
Dulux Thomas Thalls PW1 B9
- P3** PAINT FINISH 3
Dulux Oolong PG2 G8
- P4** PAINT FINISH 4
Dulux Ducal P05 E8
- P5** PAINT FINISH 5
Dulux Calico Dress P38 E8
- P6** PAINT FINISH 6
Dulux Simone Wall PG1 A4
- PC1** WINDOW FRAMES + BALUSTRADES + LOUVRES
Dulux Powdercoat
Eternity Pewter Pearl - Satin
- ACT1** VITRABOND
Sparkling Dark Grey 455
- ACT2** VITRABOND
Sparkling Dark Grey 455
- CP1** PRE-FINISH FC PANELS
Carrera pearl natura pro
Nu 250 Natural Grey
- STS1** DECOR STACKED STONE
Onyx
- STS2** DECOR STACKED STONE
Bisque
- G1** BALUSTRADES
Grey Tint Glass

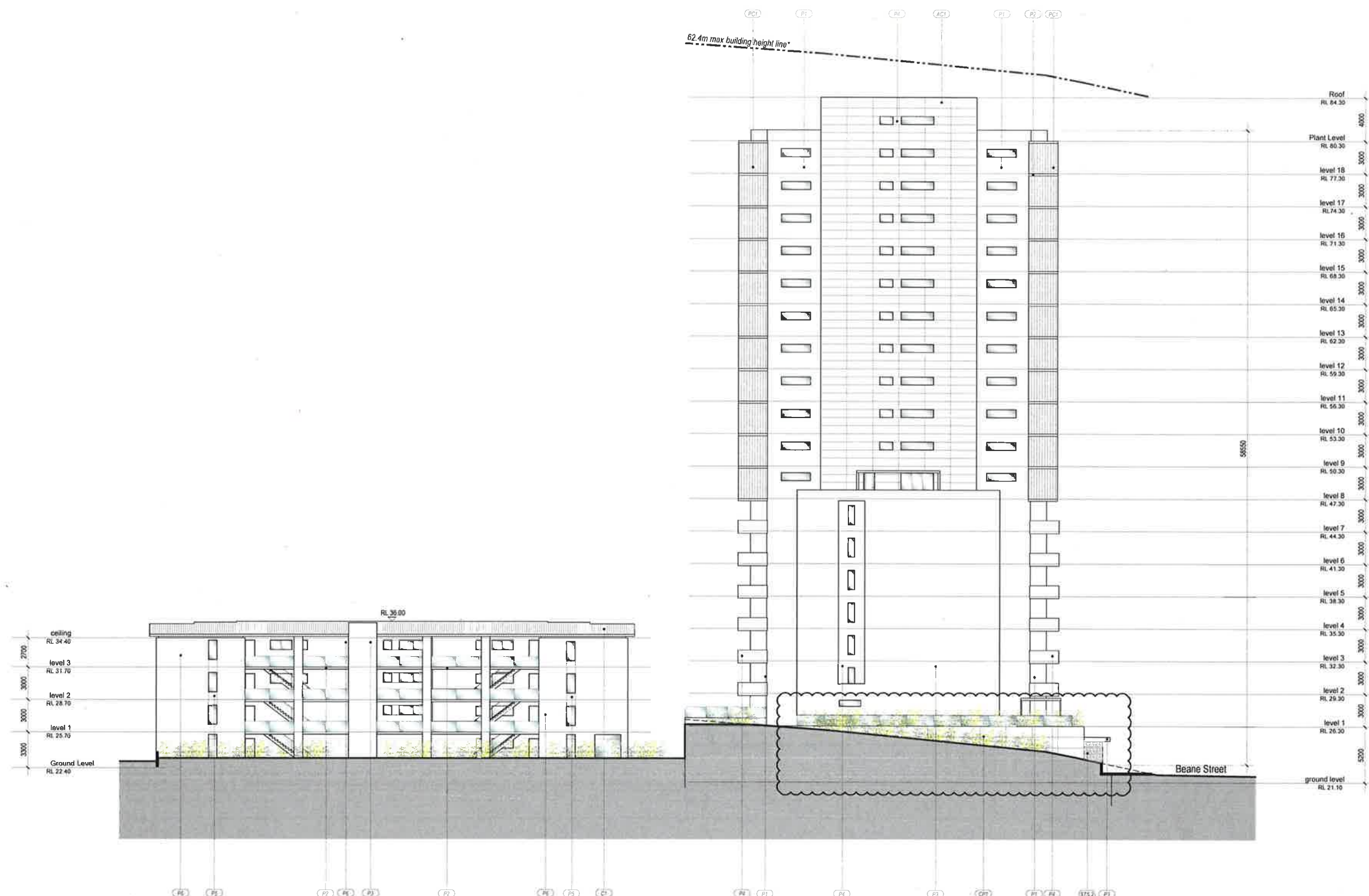
C Amendments addressing council letter dated 17.11.14	08-12-14
B Amendments addressing council letter	08-10-14
A Development Application	13-08-14

Issue description Date

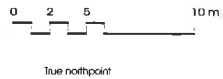
architex
Ryleton Pty Ltd / as Architex
abn 32 003 315 142
Level 3, 7/K Parkes Street
Parramatta NSW 2150
email@architex.com.au
www.architex.com.au
T : 9633 5688
M : 0418 402 919

DEVELOPMENT APPLICATION

Project Proposed Mixed Use Development		
Project address 43 - 45 Beane Street & 2 Keever's Lane, Gosford		
Client Wai He Chai & Lai King Chai		
Title Elevations		
Drawn P L	Scale 1:200 @ A1	Checked
Job No 2172	Drawing No DA18	Issue C



East Elevation



Notes:

Do not scale, check and verify all dimensions before commencing new work.
ground levels may vary due to site conditions

LEGEND EXTERNAL MATERIALS + FINISHES

- P1** PAINT FINISH 1
Dulux Endless Dusk
PG1 F3
- P2** PAINT FINISH 2
Dulux Thomas Thalls PW1 B9
- P3** PAINT FINISH 3
Dulux Oolong PG2 G8
- P4** PAINT FINISH 4
Dulux Duca P05 E8
- P5** PAINT FINISH 5
Dulux Calico Dress P38 E8
- P6** PAINT FINISH 6
Dulux Simone Wall PG1 A4
- PC1** WINDOW FRAMES + BALUSTRADES + LOUVRES
Dulux Powdercoat
Eternity Powder Pearl - Satin
- AC1** VITRABOND
Sparkling Dark Grey 455
- AC1** VITRABOND
Sparkling Dark Grey 455
- CP1** PRE-FINISH FC PANELS
Cerama panel natura pro
Nu 250 Natural Grey
- STS1** DECOR STACKED STONE
Onyx
- STS2** DECOR STACKED STONE
Blaque
- GY** BALUSTRADES
Grey Tint Glass

C	Amendments addressing council letter dated 17.11.14	08-12-14
B	Amendments addressing council letter	08-10-14
A	Development Application	13-08-14

Issue description	Date
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architex
Ryerson Pty Ltd Via Architex
abr 32 003 315 142

Level 3, 74 Parkes Street
Parramatta NSW 2150
email@architex.com.au
www.architex.com.au

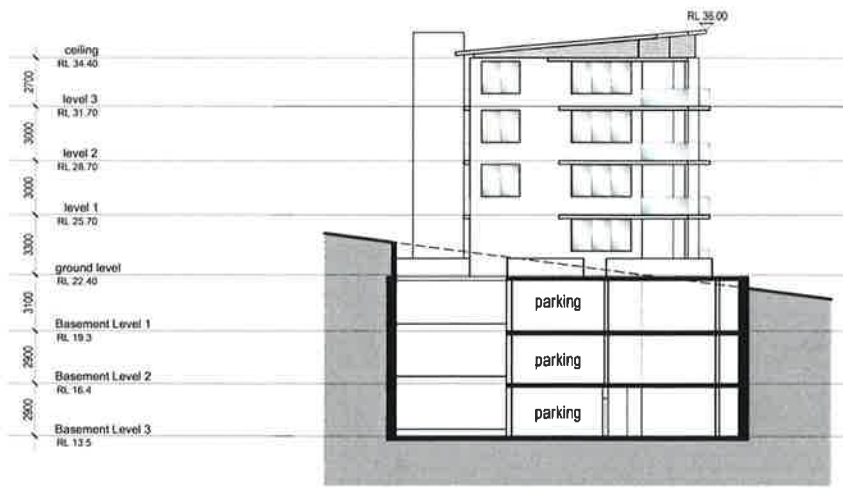
T : 9633 5888
M : 0416 402 919

DEVELOPMENT APPLICATION

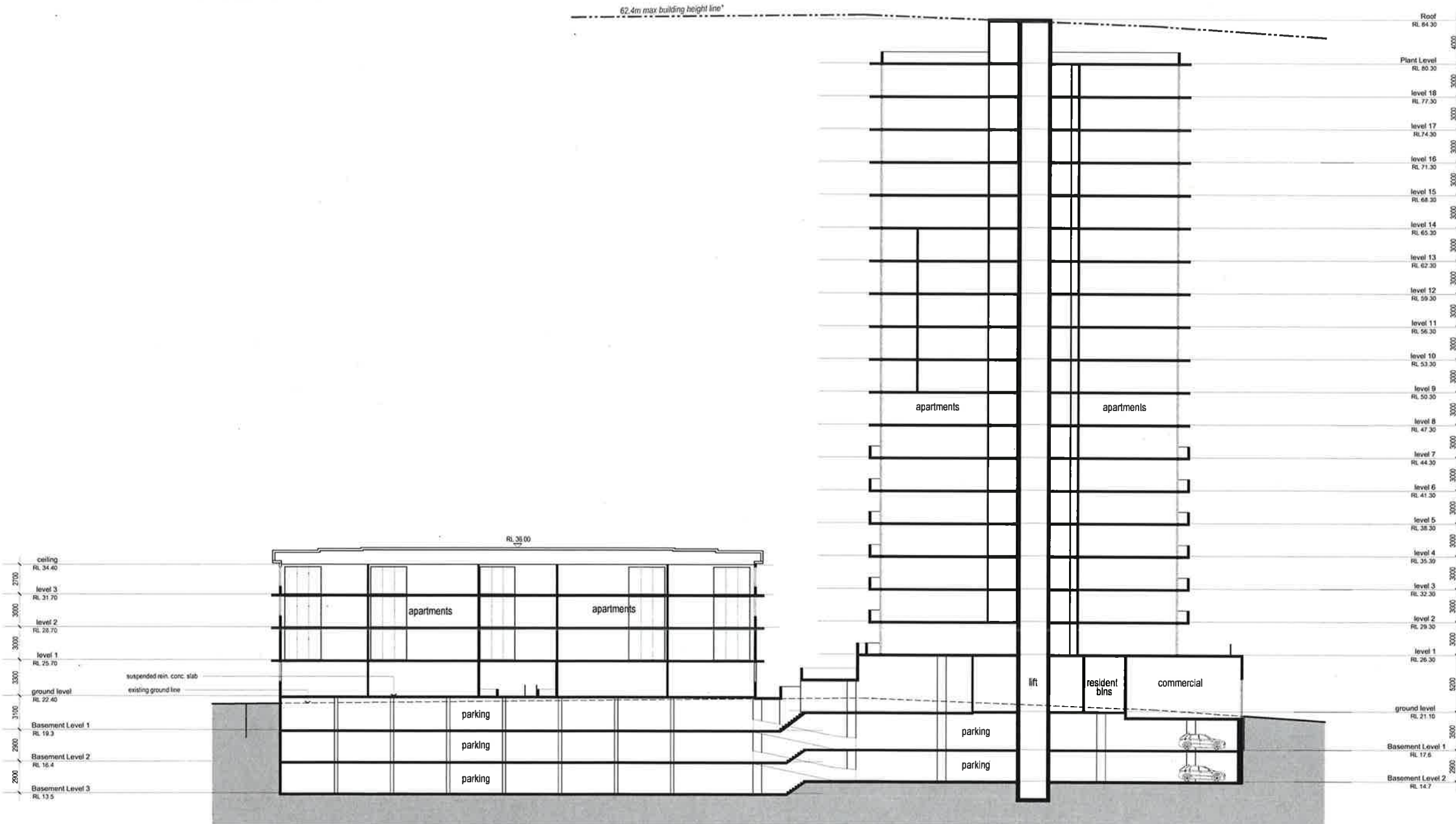
Project	Proposed Mixed Use Development	
Project address	43 - 45 Beane Street & 2 Keever's Lane, Gosford	
Client	Wai He Chai & Lai King Chai	
Title	Elevations	
Drawn	Scale	Checked
P.L.	1:200 @ A1	
Job No	Drawing No	Issue
2172	DA19	C



Keevers Lane West Elevation



Section A - A



Section B - B

0 2 5 10 m

True northpoint

Notes:

Do not scale, check and verify all dimensions before commencing new work. ground levels may vary due to site conditions.

A Development Application 13-06-14

Issue description Date

architex
Ryeford Pty Ltd (as Architex)
abn 32 003 315 142
Level 3, 7K Parkes Street
Parramatta NSW 2150
email@architex.com.au
www.architex.com.au

T : 9633 5888
M : 0418 402 919

Project
Proposed Mixed Use Development

Project address
43 - 45 Beane Street & 2 Keewers Lane, Gosford

Client
Wai He Chai & Lai King Chai

Title
Sections

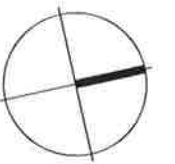
Drawn P.L.	Scale 1:200 @ A1	Checked
Job No. 2172	Drawing No. DA20	Issue A

DEVELOPMENT APPLICATION

Note:
The internal driveway ramp widths, circulation aisles and vehicle turning areas shall be designed and constructed in accordance with AS2890.1 for two-way vehicle movements.
All driveway ramps have a min. width of 5.5metres clear of any obstruction.

0 0.5 1 2.5 m

True northpoint



Notes

Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

Landscape Details:

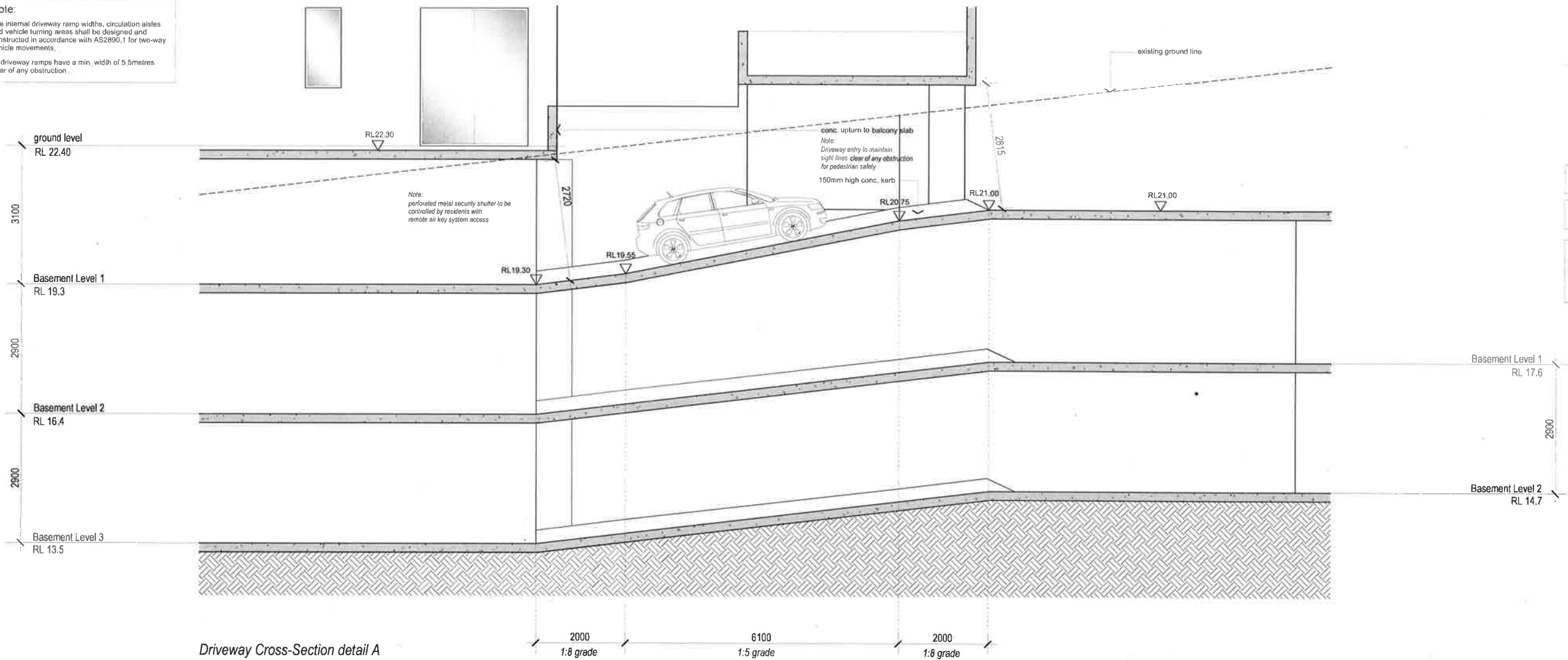
Refer to Landscape Drawings

Stormwater Details + Site Levels:

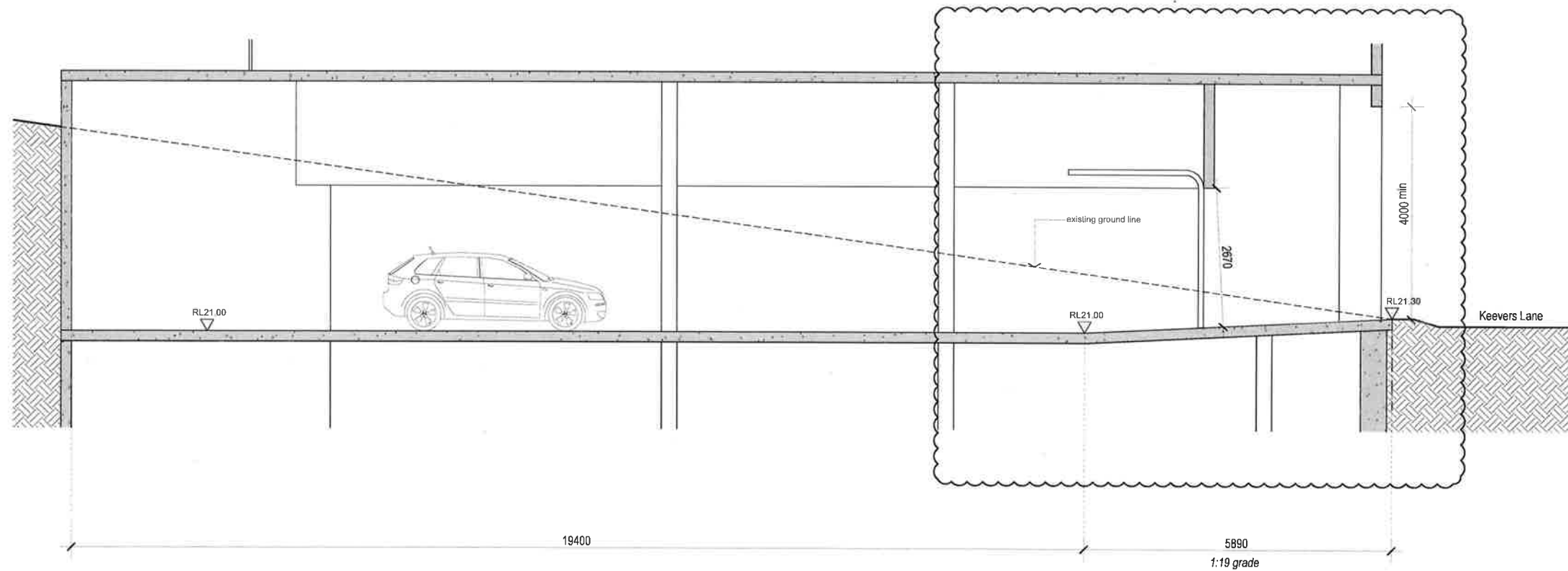
Refer to Hydraulic Eng. Drawings

Legend

RLXXX.XX Structural Floor Level
/ RLXXX.XX Finished Reduced Level
<1.8> Ramp Up Gradient



Driveway Cross-Section detail A
Driveway Details scale 1:50 @ A1



Driveway Cross-Section detail B
Driveway Details scale 1:50 @ A1

B Amendments addressing council letter 09-10-14
A Development Application 13-08-14

Issue description Date

architex
Sydney Pty Ltd (t/a Architex)
abn 32 003 315 142
Level 3, 74 Parkes Street
Parramatta NSW 2150
email@architex.com.au
www.architex.com.au
T 9633 5888
M 0418 402 919

Project
Proposed Mixed Use Development

Project address
43 - 45 Beane Street & 2 Keevers Lane, Gosford

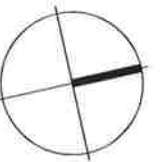
Client
Wai He Chai & Lai King Chai

Title
Site Details

Drawn P.L.	Scale 1:50 @ A1	Checked
Job No. 2172	Drawing No. DA21	Issue B

0 0.5 1 2.5 m

True North

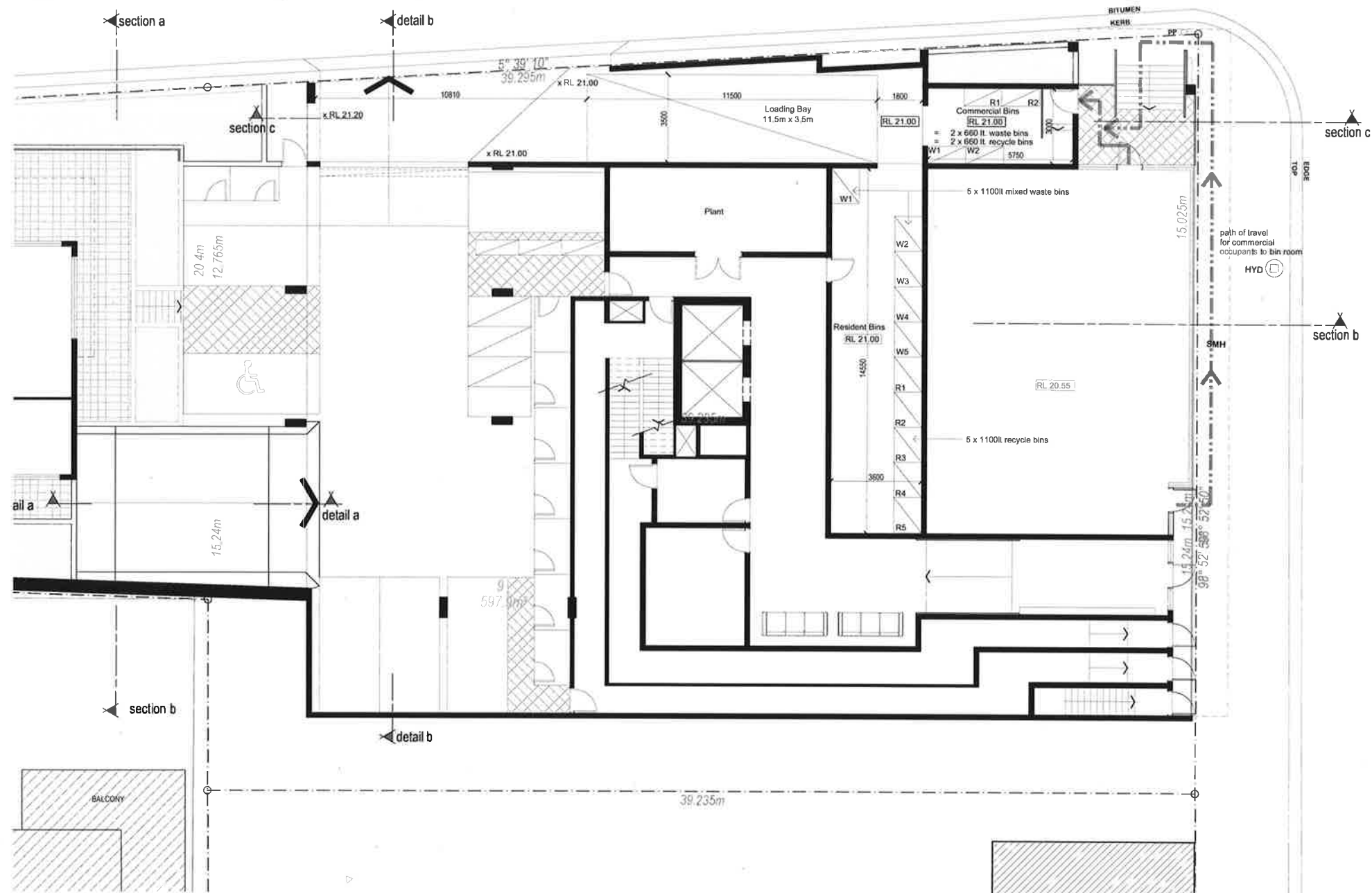


Notes

Do not scale, check and verify all dimensions before commencing new work. ground levels may vary due to site conditions.

BUILDING
Ridge Level: 25.66m

S LANE



Bin Store Area

Bin Collection Calculations

Total Residential Units = 98
(1100lt. x waste + 1100 lt. x recycle bins)

= 5 x 1100 lt. waste bins
= 5 x 1100 lt. recycle bins

TOTAL 1100 lt. waste bins = 5
1100 lt. recycle bins = 5

Landscape Details:
Refer to Landscape Drawings

Stormwater Details + Site Levels:
Refer to Hydraulic Eng. Drawings

Legend

RLXXXXX Structural Floor Level
x RLXXXXX Finished Reduced Level
Ramp Up Gradient

B Amendments addressing council letter 09-10-14
A Development Application 13-08-14

Issue description Date

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Parramatta NSW 2150
enquiries@architex.com.au
www.architex.com.au

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Project
Proposed Mixed Use Development

Project address
43 - 45 Beane Street & 2 Keesers
Lane, Gosford

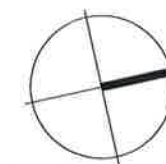
Client
Wai He Chai & Lai King Chai

Title
Site Details

Drawn P.L.	Scale 1:100 @ A1	Checked
Job No. 2172	Drawing No. DA22	Issue B

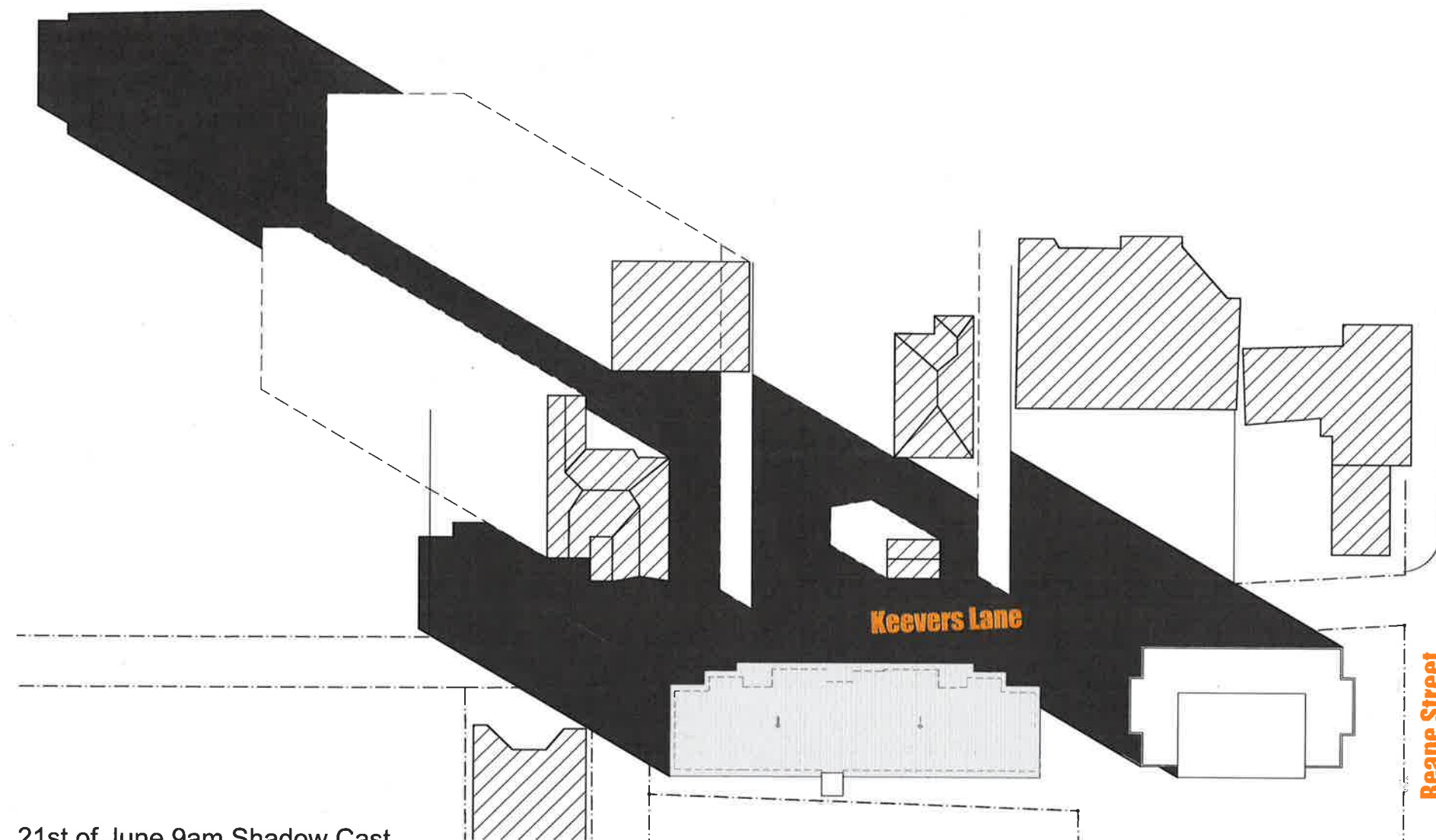


True north

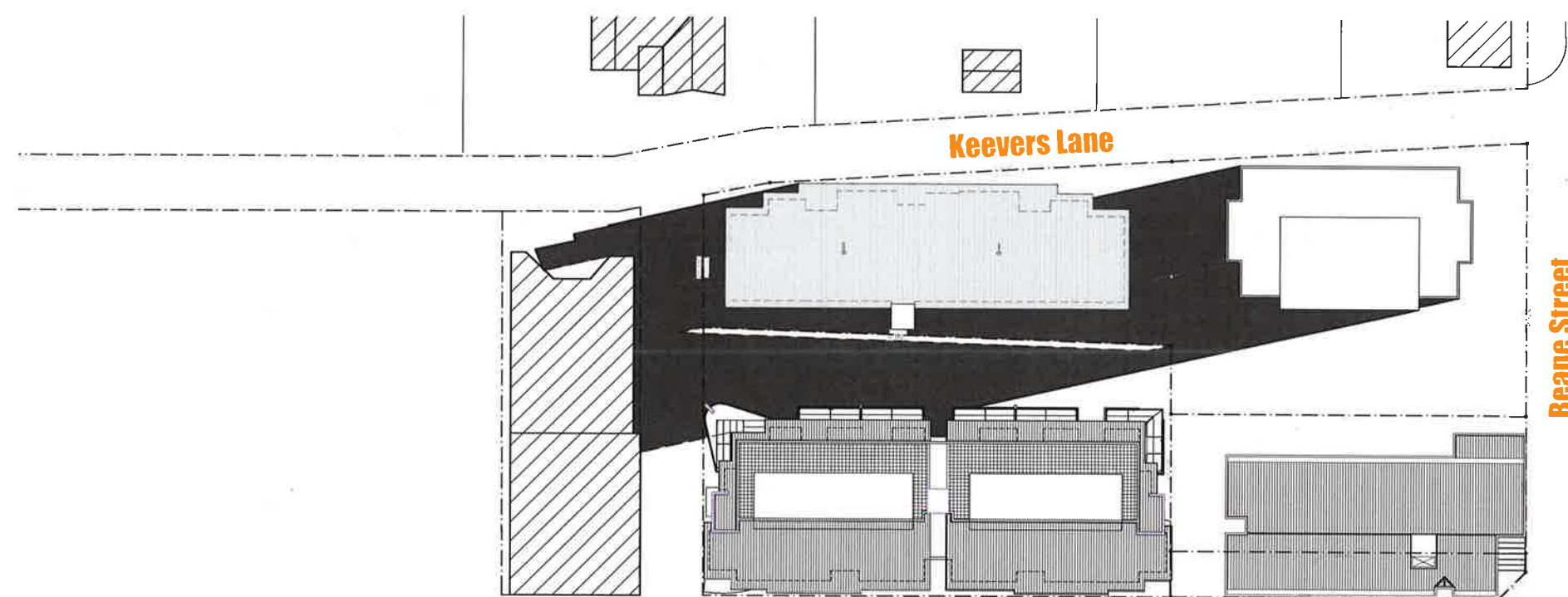


Notes

Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.



21st of June 9am Shadow Cast



21st of June 12pm Shadow Cast

Shadow Diagrams

A Development Application	13-08-14
Issue description	Date

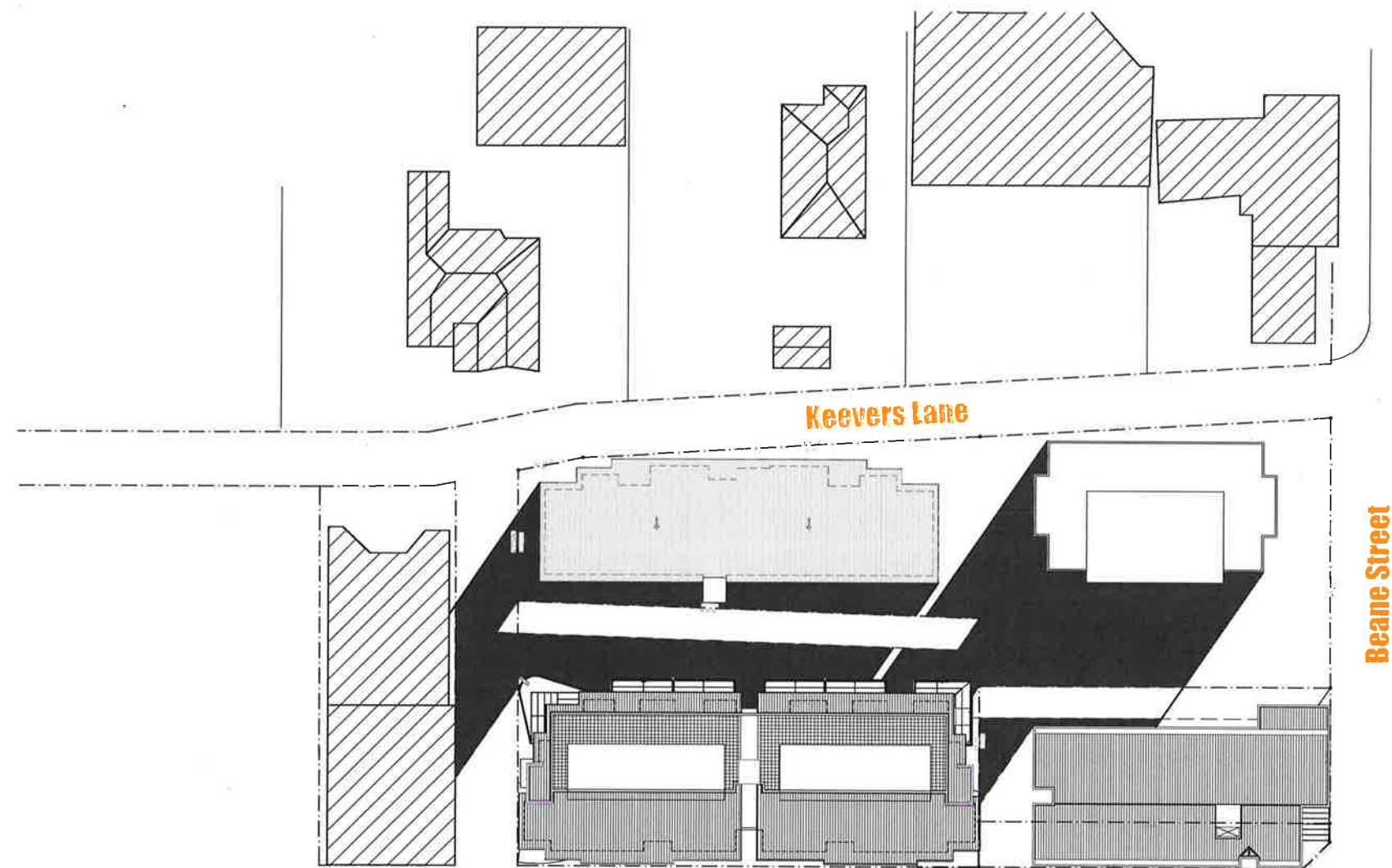
architex
Byrlton Pty Ltd t/as Architex
abn 32 003 315 142

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Parramatta NSW 2150
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www.architex.com.au

1 - 9633 5886
M - 0418 402 919

Project	Proposed Mixed Use Development	
Project address	43 - 45 Beane Street & 2 Keever's Lane, Gosford	
Client	Wai He Chai & Lai King Chai	
Title	Shadow Diagrams	
Drawn	Scale	Checked
PL	1:300 @ A1	
Job No	Drawing No	Issue
2172	DA23	A

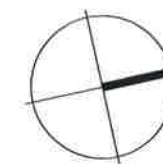
DEVELOPMENT APPLICATION



21st of June 3pm Shadow Cast



True northpoint



Notes

Do not scale, check and verify all dimensions before commencing new work. Ground levels may vary due to site conditions.

A Development Application	13-08-14
Issue description	Date

architex
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 M : 0418 402 919

DEVELOPMENT APPLICATION

Project		
Proposed Mixed Use Development		
Project address		
43 - 45 Beane Street & 2 Keevers Lane, Gosford		
Client		
Wai He Chai & Lai King Chai		
Title		
Shadow Diagrams		
Drawn	Scale	Checked
P.L	1:300 @ A1	
Job No	Drawing No	Issue
2172	DA24	A

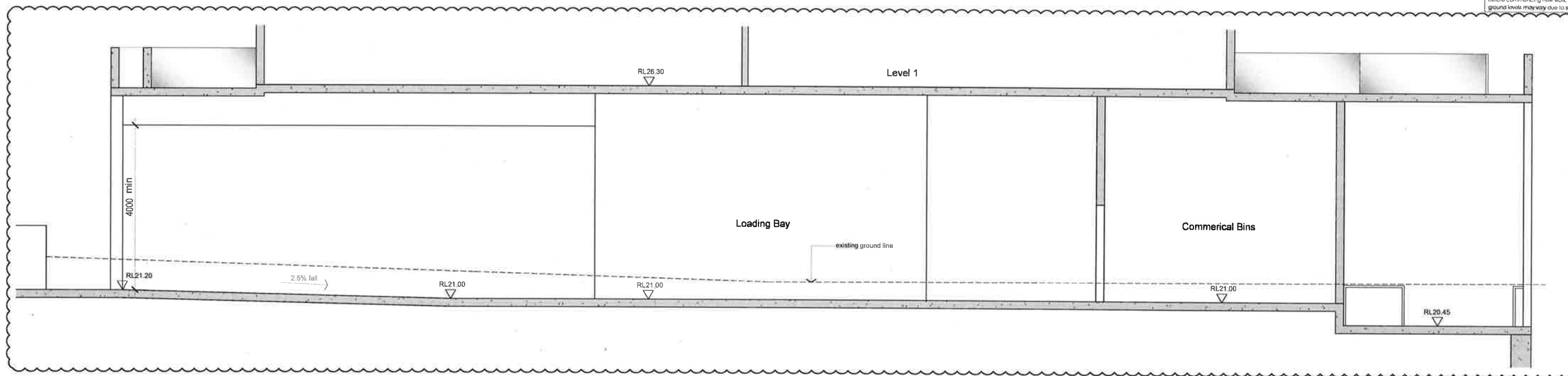
0 0.5 1 2.5 m

True Northpoint

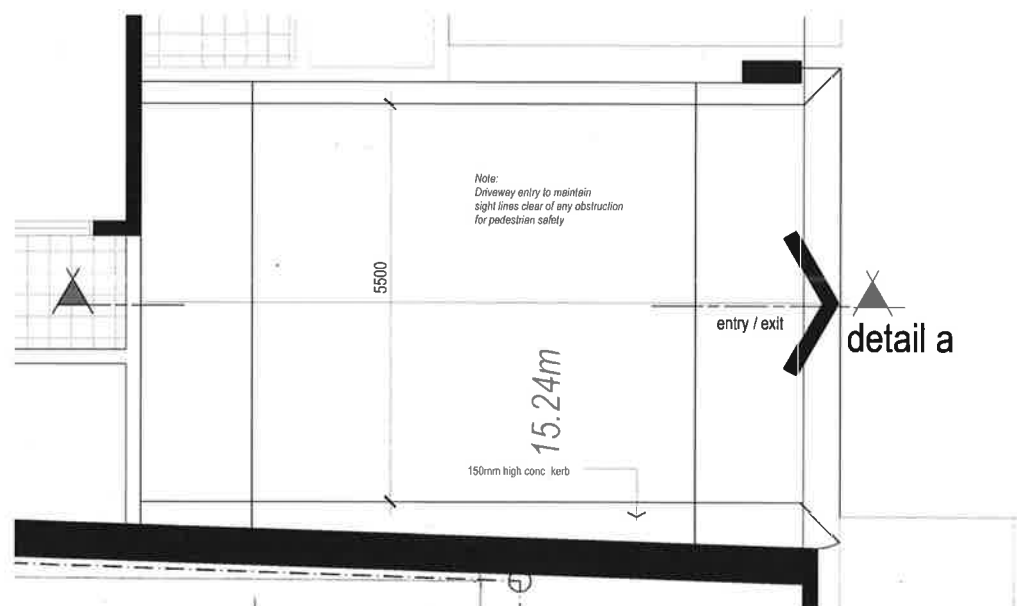


Notes

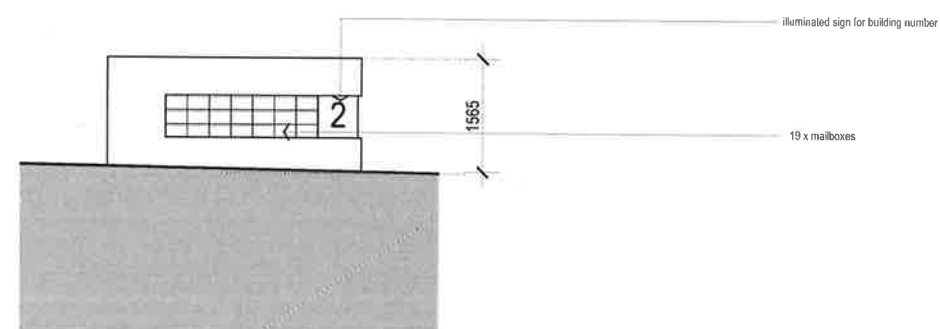
Do not scale, check and verify all dimensions before commencing new work. Ground levels may vary due to site conditions.



Section C - C scale 1:50 @ A1



Driveway Entry Detail scale 1:50 @ A1



Mail Details

Landscape Details:
Refer to Landscape Drawings

Stormwater Details + Site Levels:
Refer to Hydraulic Eng. Drawings

Legend

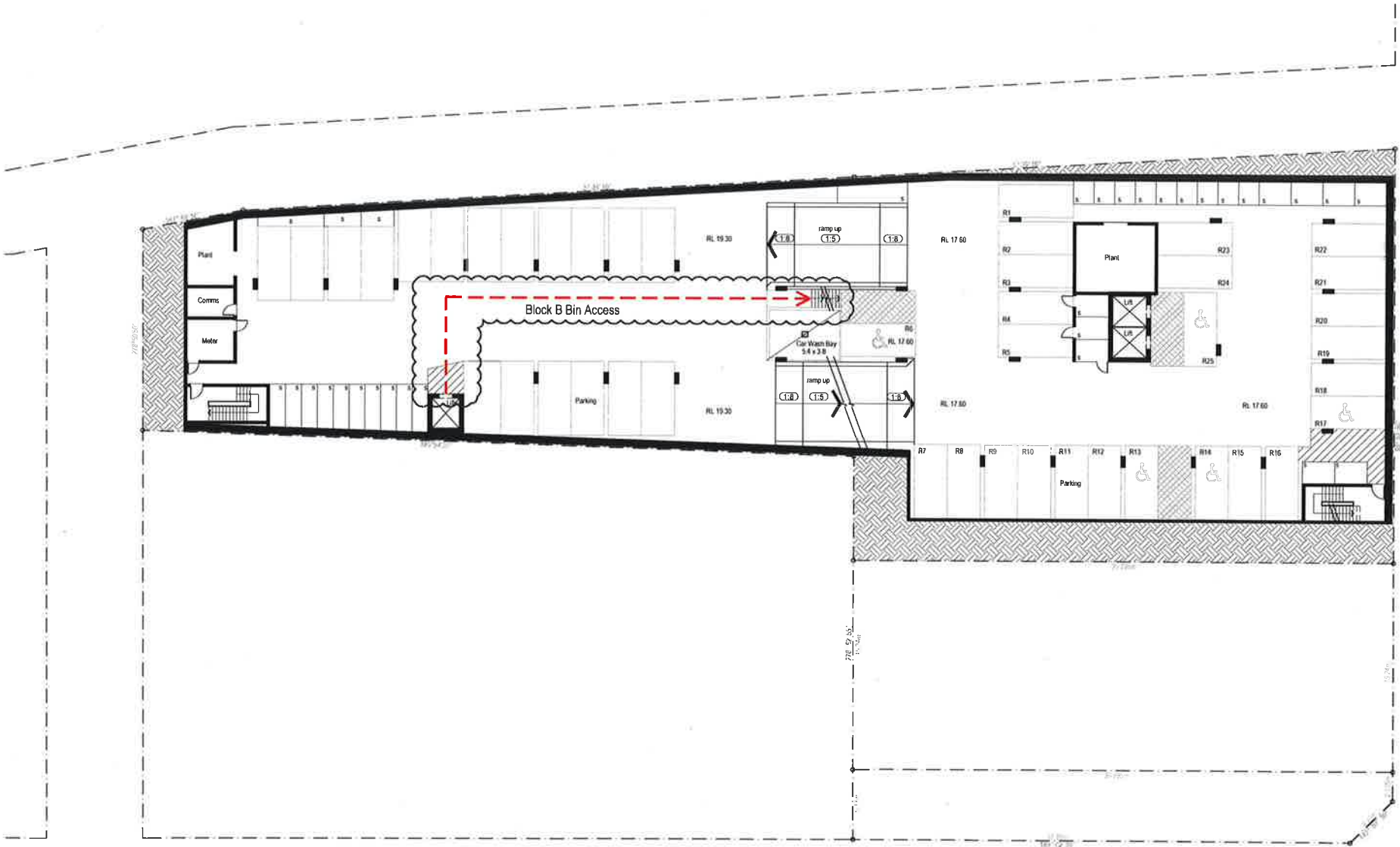
RLXXXXXX Structural Floor Level
+ RLXXXXXX Finished Reduced Level
Ramp Up Gradient

B Amendments addressing council letter	09.10.14
A Development Application	13.08.14

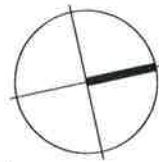
Issue description	Date
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architex
Nykelon Pty Ltd t/as Architex
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Parramatta NSW 2150
email@architex.com.au
www.architex.com.au
I : 9433 0888
M : 0418 402 919

Project Proposed Mixed Use Development		
Project address 43 - 45 Beane Street & 2 Keever's Lane, Gosford		
Client Wai He Chai & Lai King Chai		
Title Site Details		
Drawn P.L.	Scale 1:50 @ A1	Checked
Job No. 2172	Drawing No. DA25	Issue B



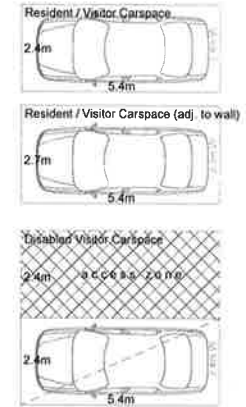
True northpoint



Notes

Do not scale, check and verify all dimensions before commencing new work.
Ground levels may vary due to site conditions.

Carparking Legend



Note:
All disabled visitors carparking in accordance with AS2890.1 and adaptable residents parking in accordance with AS4299.

Note:
All parking spaces are a minimum of 2.4m in width by 5.5m in length. Spaces increase to 2.7m in width where adjacent to a wall or an obstruction. Spaces increase to 3.0m where adjacent to walls on both sides. (In accordance with AS2890.1)

Note:
The internal driveway ramp widths, circulation aisles and vehicle turning areas shall be designed and constructed in accordance with AS2890.1 for two-way vehicle movements.

D	Bin room Access	14-01-15
C	Amendments addressing council letter dated 17.11.14	08-12-14
B	Amendments addressing council letter	09-10-14
A	Development Application	13-08-14

Issue description	Date
-------------------	------

architex

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Note:
The internal driveway ramp widths, circulation aisles and vehicle turning areas shall be designed and constructed in accordance with AS2890.1 for two-way vehicle movements.
All security shutters to be controlled by residents with remote air key system access.
All underground parking areas to be painted white.

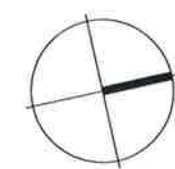
Legend	
RLXXXX	Structural Floor Level
RLXXXX	Finished Reduced Level
1:8	Ramp Up Gradient

DEVELOPMENT APPLICATION

Project	Proposed Mixed Use Development	
Project address	43 - 45 Beane Street & 2 Keever's Lane, Gosford	
Client	Wai He Chai & Lai King Chai	
Title	Basement - Bin Access	
Drawn	Scale	Checked
P.L.	1:200 @ A1	
Job No	Drawing No	Issue
2172	DA26	D

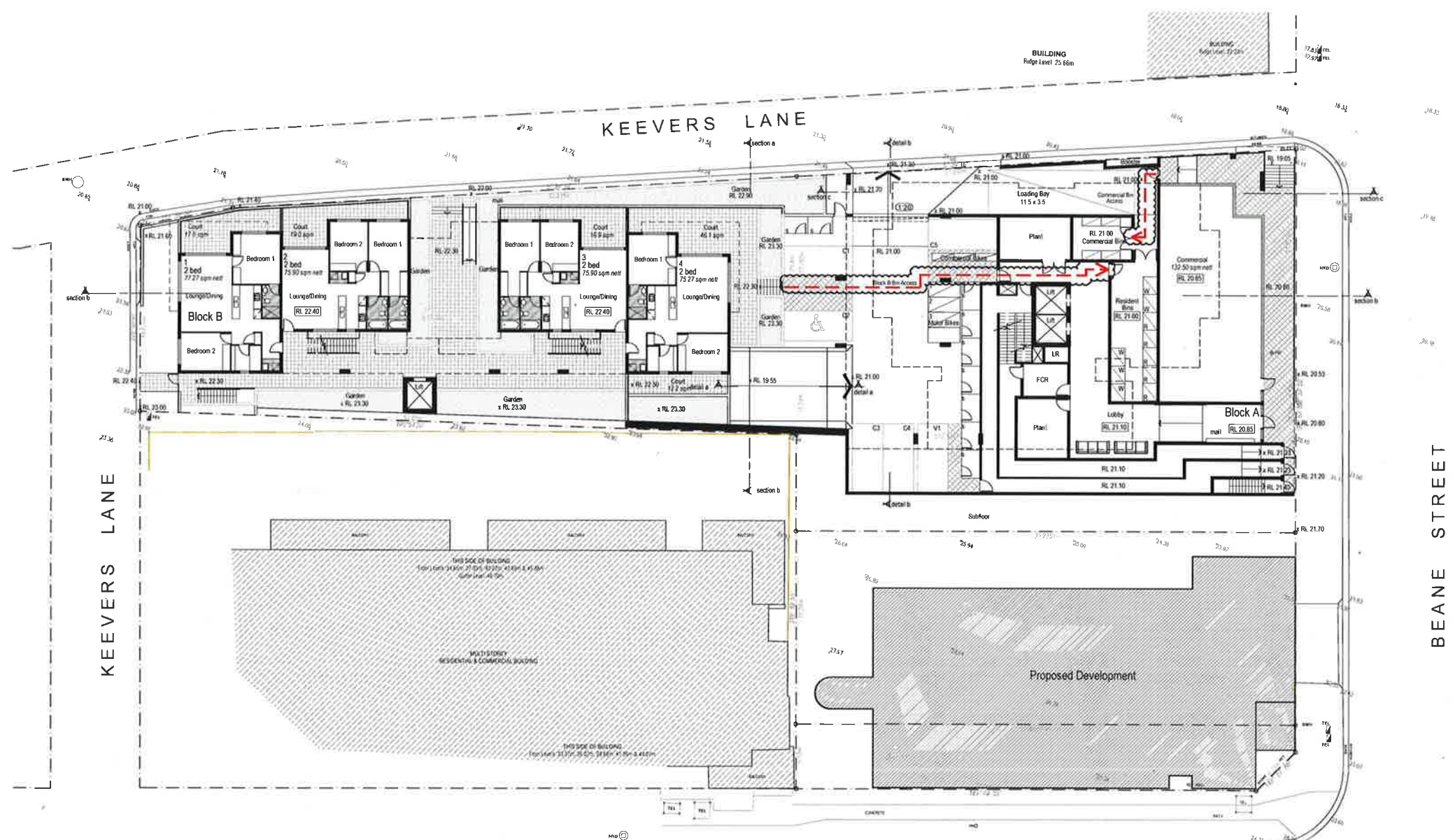


true northpoint



Notes:

Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.



D	Bin room Access	14-01-15
C	Amendments addressing council letter dated 17-11-14	06-12-14
B	Amendments addressing council letter	09-10-14
A	Development Application	13-08-14
Issue description		Date

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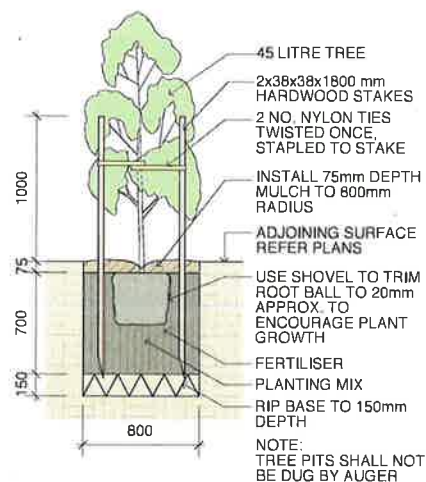
DEVELOPMENT APPLICATION

Project	Proposed Mixed Use Development	
Project address	43 - 45 Beane Street & 2 Keevers Lane, Gosford	
Client	Wai He Chai & Lai King Chai	
Title	Site & Ground Floor Level	
Drawn	Scale	Checked
P.L.	1:200 @ A1	
Job No	Drawing No	Issue
2172	DA27	D

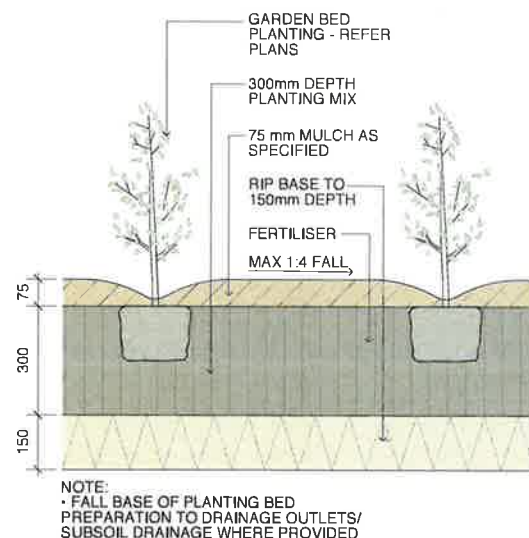
Site & Ground Floor Plan

GB Proposed garden bed

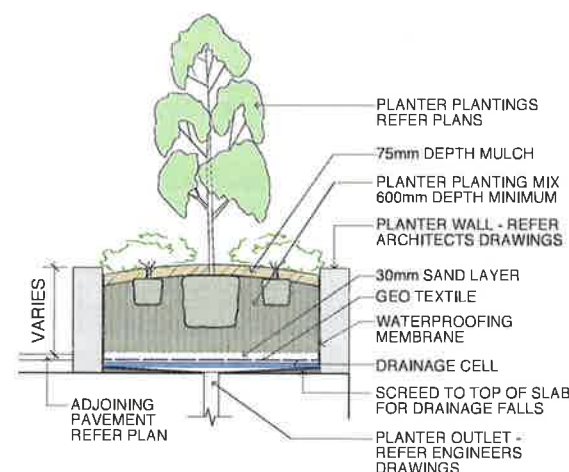
1	2	3	4	5	6	7	8	9	10	11	12
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1 45 Litre Tree Planting
scale 1:25



2 Planting Bed Detail
scale 1:10



3 Planter Bed On Slab
scale 1:25

Plant Schedule						
ID	Qty	Common Name	Botanical Name	Size	Mature Height	Mature Spread
Trees						
TBI	2	Coastal Banksia	Banksia integrifolia	45Litre	13 - 15m	3.5 - 6m
TCA	8	Tuckeroo	Cupaniopsis anacardioides	45Litre	10 - 15m	3.5 - 6m
TEE	9	Eumundi Quandong	Elaeocarpus eumundi	75Litre	6 - 8m	3.5 - 6m
TLI	2	Crepe Myrtle	Lagerstroemia indica 'Natchez'	45Litre	6 - 8m	3.5 - 6m
TMG	3	Little Gem Southern Magnolia	Magnolia grandiflora 'Little Gem'	45Litre	4 - 6m	2.0 - 3.5m
TWF	5	Weeping Lilly Pilly	Waterhousia floribunda	45Litre	6 - 8m	3.5 - 6m
Shrubs						
SAM	143	Allyn Magic	Acmena 'Allyn Magic'	200mm	1.0 - 1.5m	0.8 - 1.0m
SCE	19	Scarlet Bottlebrush	Callistemon citrinus 'Endeavour'	200mm	3 - 5m	2.0 - 3.5m
SDE	38	Gymea Lily	Doryanthes excelsa	200mm	1.2 - 2m	1.2 - 2.0m
SMF	19	Banana Shrub	Michelia figo	200mm	1.5 - 3m	2.0 - 3.5m
SMP	35	Orange Jessamine	Murraya paniculata	200mm	1.5 - 3m	3.5 - 6m
SPT	47	New Zealand Flax	Phormium tenax 'Flamin'	200mm	0.6-0.9m	0.8 - 1.0m
SSH	21	Bird Of Paradise	Strelitzia reginae var. juncea	200mm	0.9 - 1.5m	0.9 - 1.2m
SSY	47	Cascade Lilly Pilly	Syzygium 'Cascade'	200mm	2 - 3m	1.2 - 2.0m
SVO	27	Dense Form Viburnum	Viburnum odoratissimum 'Dense Form'	200mm	3 - 4m	1.2 - 3m
SWB	69	Blue Gem	Westringia 'Blue Gem'	200mm	0.8 - 1.0m	0.9 - 1.2m
Ground Covers						
GHP	135	Licorice Plant	Helichrysum petiolare 'Limelight'	150mm	0.3 - 0.45m	0.6 - 0.9m
GDT	83	Flax Lily	Dianella tasmanica 'Tasred'	150mm	0.6 - 0.7m	0.4 - 0.6m
GLM	156	Giant Lily Turf	Liriope muscari 'Evergreen Giant'	150mm	0.0 - 0.3m	0.0 - 0.3m
GMV	126	Carpet Spreading Myoporum	Myoporum parvifolium 'Yareena'	150mm	0.45 - 0.6m	0.9 - 1.2m
GTJ	14	Star Jasmine	Trachelospermum jasminoides	150mm	0.3 - 0.6m	1 - 4m
GWM	18	Mundi	Westringia fruticosa 'Mundi'	150mm	0.45 - 0.6m	0.9 - 1.2m
GTA	24	Asian Jasmine	Trachelospermum asiaticum	150mm	n/a	3 - 5m

SPECIFICATION NOTES

PLANTING MATERIALS

Planting Mix:
Planting mix for tree pit backfill shall be "Organic Garden Mix" consisting of:
50% Black Soil
20% Coarse Sand
30% Organic Material
as available from Australian Native Landscapes, Phone: (02) 9450 1444, or approved equivalent. Samples shall be provided to the Superintendent prior to ordering or delivery to site. Any material delivered to site, that is rejected by the Superintendent, shall be removed by the contractor at his own expense. Minimum depths of mix to all planting bed areas is as specified on details.

Planter Mix:
Planter mix shall be Peat and Planter Mix as supplied by Australian Native Landscape Pty Ltd (ph (02) 9450 1444 or approved equivalent).

Planter Drainage Cell:
Planter drainage cell shall be VersiCell as supplied by Elmich Australia Pty Ltd (ph (02) 9648 2073 or approved equivalent).

Mulch:
Mulch to garden bed:
Mulch shall mean Hort-Bark (15mm grade), free from material derived from Privet, Willow, Poplar, Coral trees, or other noxious weeds. Any mulch exceeding the 25mm grade shall be rejected / removed from the site. Graded pine bark mulch (ANL code MHB) to be supplied by Australian Native Landscapes Pty Ltd Phone (02) 9450 1444, or approved equivalent.

Mulch to planter beds:
Mulch to planter beds shall be Hawkesbury screened sandstone pebble mulch (10mm grade), free from fines and as available from Australian Native Landscapes Pty Ltd Phone (02) 9450 1444, or approved equivalent.

Spread mulch so that after settling, it is:
• smooth and evenly graded between design surface levels;
• flush with adjacent finished levels;
• of the required depths (75mm); and
• sloped towards the base of plant stems in plantation beds, but not in contact with the stem (not closer than 50mm in the case of gravel mulches).

Place after the preparation of the planting bed, planting and all other work.

Plant Material:
All plant material must be true to the species. No substitutes will be allowed. All plants shall be free of fungus and insect damage. All plants shall be healthy, well shaped, not soft or force grown and not root bound.

PREPARATION AND HARDWORKS

Excavating for Spot Planting

To planting areas, excavate a hole for each plant large enough to provide not less than twice the depth and twice the diameter than the root ball of species to be planted.

Staking

Use durable hardwood, straight, free from knots or twists, pointed at one end. Drive stakes into the ground a minimum one third of their length, avoiding damage to the root system.

• 45 Litre trees in 2 x 38x38x1800mm Hardwood Stake with double Nylon tie TIES. Provide a 50mm wide Nylon webbing tie per stake, fixed securely to the stakes, one tie at half the height of the main stem and the other as necessary to stabilise the plant.

Concrete Edge

MATERIALS: Concrete to be off white colour.
INSTALLATION: Supply and install 150 x 100mm (width) reinforced flush concrete kerb to locations as approved on site by the Superintendent. Provide flexible joints at maximum 3 metre intervals in colour to match concrete. Lightly expose aggregate through rinsing / sponging. Tool finish exposed edges with 10mm pencil round to prevent chipping.

MAINTENANCE / PLANT ESTABLISHMENT

Maintenance shall apply to all hard and soft landscape materials installed prior to the "handover" and acceptance by Principles Representative and the Site Superintendent. The maintenance period shall commence at the granting of practical completion and shall extend for 26 weeks.

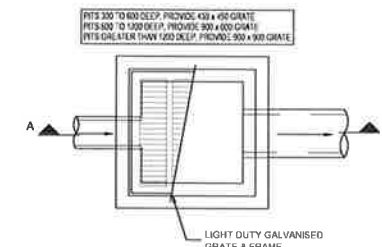
Maintenance shall consist of the following works:
• Follow a daily watering programme to be approved by Superintendent. Water all plants individually, twice per week or when necessary to ensure constant plant growth. Water all turf and native grassed areas, twice per week.
• Apply appropriate weed control sprays and hand weed as required to maintain planting areas, native grassing bed areas, paved areas, and tree pits in turf free of weed or rogue grass growth.
• Regularly tidy and top up mulch and trim edges to prevent spill over onto paved / grassed areas.
• Spray to control pests and diseases.
• Replace plants, which fail with plants of a similar size and quality as originally specified to approval of Superintendent. Costs of replacement shall be the responsibility of the Contractor. Replacement planting will be undertaken within 2 weeks of identification of dead material or instruction by the Superintendent.
• Report any incidence of plants stolen or destroyed by vandalism.
• Adjust stakes and ties to plants as necessary. Ensure that strangulation of plants does not occur.
• Prune and shape plants as directed or where necessary.
• Make good any defects or faults arising out of defective workmanship or materials.
• Make good any erosion or soil subsidence, which may occur including soft areas in pathways.
• A final inspection shall be made by the Superintendent before handover. Any items requiring rectification shall be repaired before the works are finally approved, and retention moneys released.

NOTE:

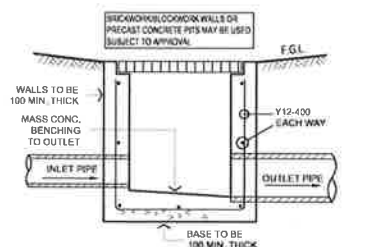
• All finished levels are to be verified by Contractor on site.
• All landscape works be in strict accordance with Council's landscape code and guidelines.
• This plan to be used in conjunction with all other submitted architectural, hydraulics and engineering drawing where applicable.

GENERAL NOTES: 1. Do not scale of drawings. Follow written dimensions. If in doubt obtain written advice from the Superintendent. 2. Verify all dimensions on site. 3. Refer to legend for all symbol and code keys. 4. Read in conjunction with the specifications 5. Read in conjunction with all associated drawings	DESIGNED: GD	PREPARED FOR: WAI HE CHAI & LAI KING CHAI	LANDSCAPE ARCHITECTS:  GREENLAND DESIGN Pty Ltd ABN 73 139 152 655 Landscape Architect: C. Ly AILA Mob.: 0403 164 198	PROJECT: PROPOSED MIXED USE DEVELOPMENT	DRAWING TITLE: Landscape Details & Specification	DATE: AUGUST 2014				
						SCALE: varies FULL SIZE: A1	ISSUE: A			
				A	FOR APPROVAL	CL	18.08.14	PROJECT ADDRESS: NO. 43- 47 BEANE STREET & 2 KEEVERS LANE, GOSFORD	DRAWING NO: 0908.L.03	
ISSUE	AMENDMENT	DRAWN	DATE							

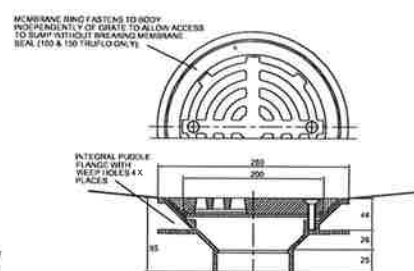
PIPE SCHEDULE				
TAG	SIZE	MATERIAL	GRADE	DESCRIPTION
A'	100 Ø	P.V.C	1% MIN	REGULAR GRAVITY PIPE
B'	150 Ø	P.V.C	1% MIN	REGULAR GRAVITY PIPE
C'	225 Ø	P.V.C	1% MIN	REGULAR GRAVITY PIPE
D'	50 Ø	P.V.C	PRESSURE	CLASS 12 RISING MAIN
E'	200x100	GALV R/S	1% MIN	DISCHARGE PIPE TO KERB
F'	100 Ø	P.V.C	1% MIN	DIRECTED TO RAINWATER TANK



TYPICAL PIT DETAIL



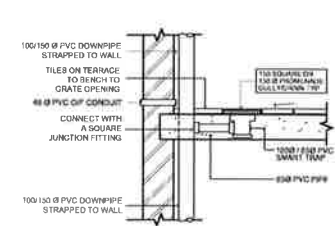
TYPICAL SECTION A



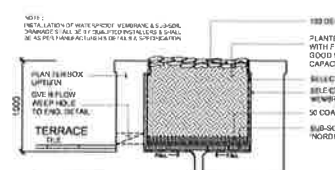
SPS Trullo & Superflo Flat Grate RWO (With Membrane Clamping Ring)

By Specialty Plumbing Supplies Pty Ltd

TYPICAL TERRACE DRAIN (TD)



DRAINAGE POINT CAST IN SLAB (FG)



PLANTER BOX DETAIL (PB)

DRAINAGE REQUIREMENT TO GCC POLICY	
SITE AREA	= 2070 m ²
SITE COVERAGE AREA (INCL PLANTERS)	= 1760 m ²
SITE COVERAGE	= 85 %
ON-SITE DETENTION IS REQUIRED	

NORTHERN CATCHMENT	
CATCHMENT AREA	= 1361 m ²
AREA ROUTED THROUGH OSD	
IMPERVIOUS AREA	= 1058 m ²
PERVIOUS AREA	= 180 m ²
AREA BYPASSING OSD	
IMPERVIOUS AREA	= 0 m ²
PERVIOUS AREA	= 123 m ²
OSD VOLUME REQUIRED	= 28.5 m ³
OSD TANK VOLUME STORAGE	= 29.4 m ³
PRE-DEVELOPED DISCHARGE	= 45.0 L/s
PROPOSED ST STEEL ORIFICE Ø	= 116 mm
LIMITED DISCHARGE THRU OSD	= 30.0 L/s

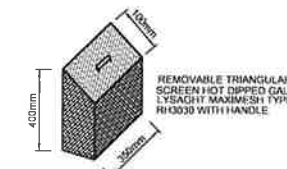
SOUTHERN CATCHMENT	
CATCHMENT AREA	= 709 m ²
AREA ROUTED THROUGH OSD	
IMPERVIOUS AREA	= 498 m ²
PERVIOUS AREA	= 165 m ²
AREA BYPASSING OSD	
IMPERVIOUS AREA	= 0 m ²
PERVIOUS AREA	= 46 m ²
OSD VOLUME REQUIRED	= 9.00 m ³
OSD TANK VOLUME STORAGE	= 9.30 m ³
PRE-DEVELOPED DISCHARGE	= 24.0 L/s
PROPOSED ST STEEL ORIFICE Ø	= 116 mm
LIMITED DISCHARGE THRU OSD	= 23.0 L/s

NORTHERN CATCHMENT	
SUSPENDED DETENTION TANK	
SHOWN HATCHED	
MAX POOL RL	= 20.70
MAX DEPTH	= 540mm
VOLUME STORED	= 30.4 m ³
VOLUME REQUIRED	= 29.4 m ³

AREA	= 66.0 m ²
AVERAGE DEPTH	= 460mm
VOLUME STORED	= 30.4 m ³



ORIFICE PLATE DETAIL N.T.S.



REMOVABLE TRIANGULAR SCREEN HOT DIPPED GALV. LYSAGHT MAXIMESH TYPE R13030 WITH HANDLE

alw design

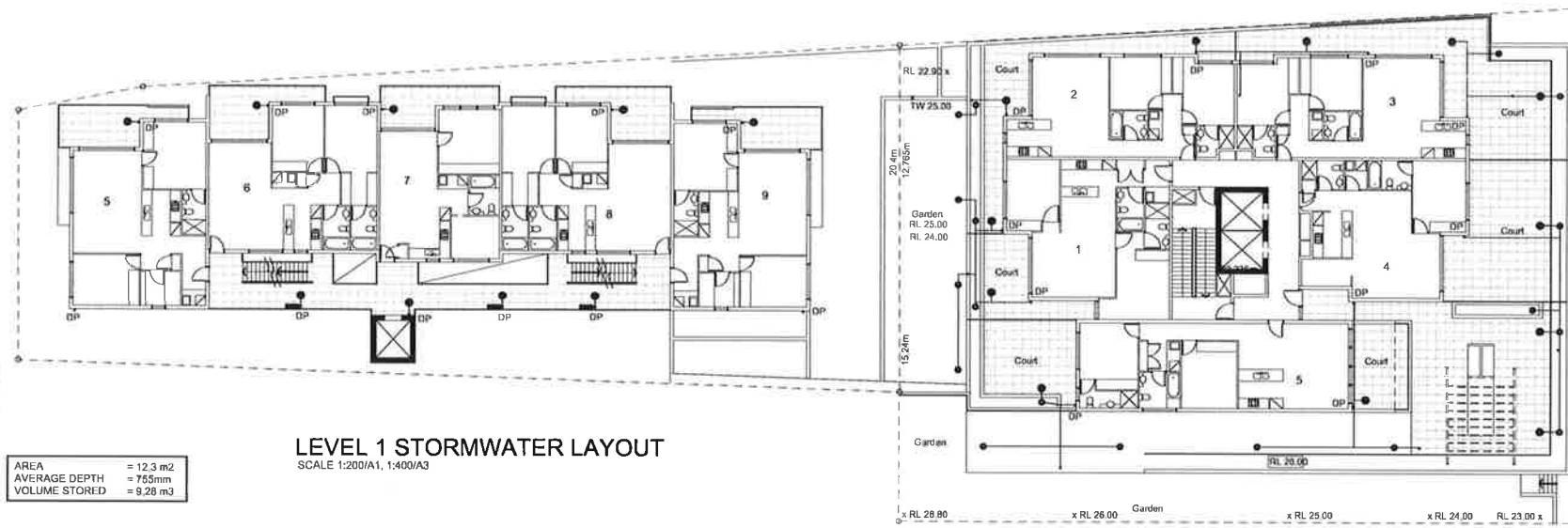
CIVIL ENGINEERING CONSULTANTS

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PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT AT 43-47 BEANE STREET & 2 KEEVERS LANE, GOSFORD
CONCEPT SITE STORMWATER LAYOUT

DESIGNED	DRAWN	CHECKED	DATE
A.W.	A.W.	ANDREW L WAHBE - BE (CIVIL) MIEAUT PENG	15/10/14
A	A	ISSUED FOR DA - TO SUIT COUNCIL'S REQUESTS (2ND OSD)	22/08/14
ISSUE	REVISION DESCRIPTION	APPR. DATE	

JOB NUMBER: SW14345
DRAWING NUMBER: SW14345 - S2



LEVEL 1 STORMWATER LAYOUT
SCALE 1:200/A1, 1:400/A3

SOUTHERN CATCHMENT

BELOW GROUND DETENTION TANK	
SHOWN HATCHED	
MAX POOL RL	= 20.70
MAX DEPTH	= 790mm
VOLUME STORED	= 9.30 m ³
VOLUME REQUIRED	= 9.00 m ³

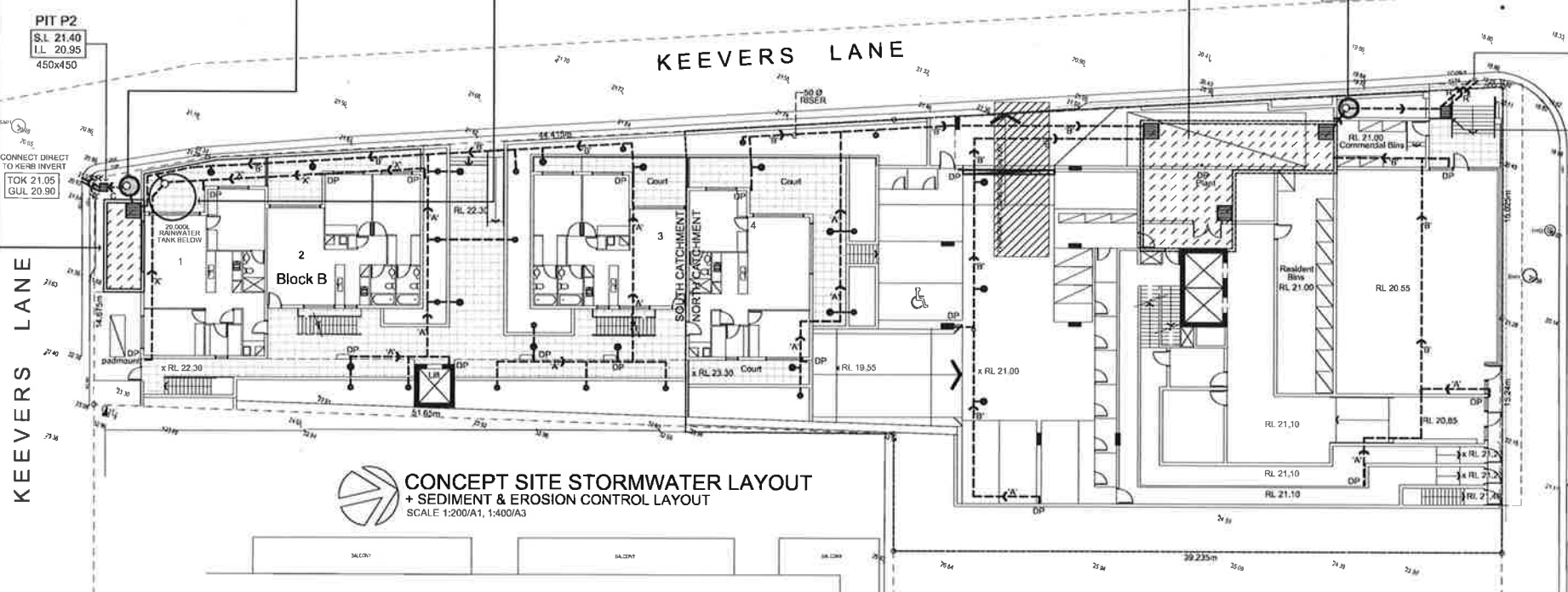
PROVIDE A STORMWATER TREATMENT FACILITY / NUTRIENT CONTROL FACILITY. WE RECOMMEND INCORPORATING A COPA WATER PRODUCT 'CDS 0506' FOR USE OR APPROVED EQUIVALENT.

PROVIDE A RAINWATER TANK 20,000L IN CAPACITY TO SUIT ALL BASIX REQUIREMENTS. TANK TO BE CONNECTED AS SPECIFIED IN BASIX REPORT. PROVIDE OVERFLOW TO OSD.

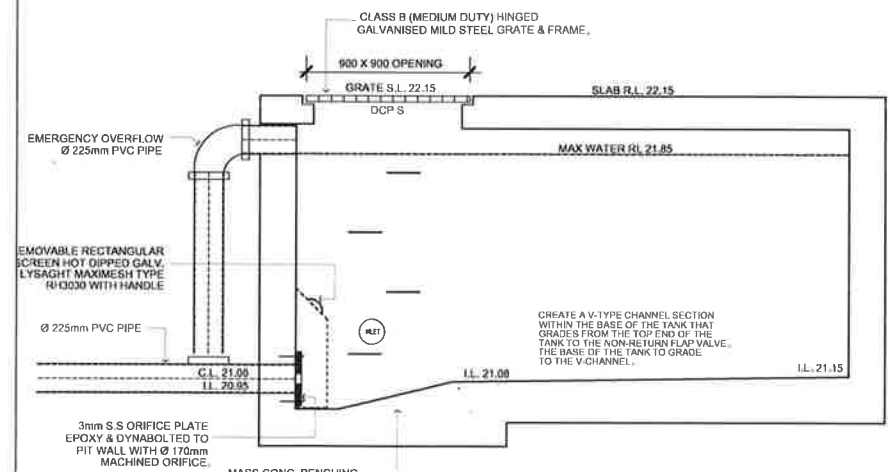
NORTHERN CATCHMENT

SUSPENDED DETENTION TANK	
SHOWN HATCHED	
MAX POOL RL	= 20.70
MAX DEPTH	= 540mm
VOLUME STORED	= 28.5 m ³
VOLUME REQUIRED	= 29.4 m ³

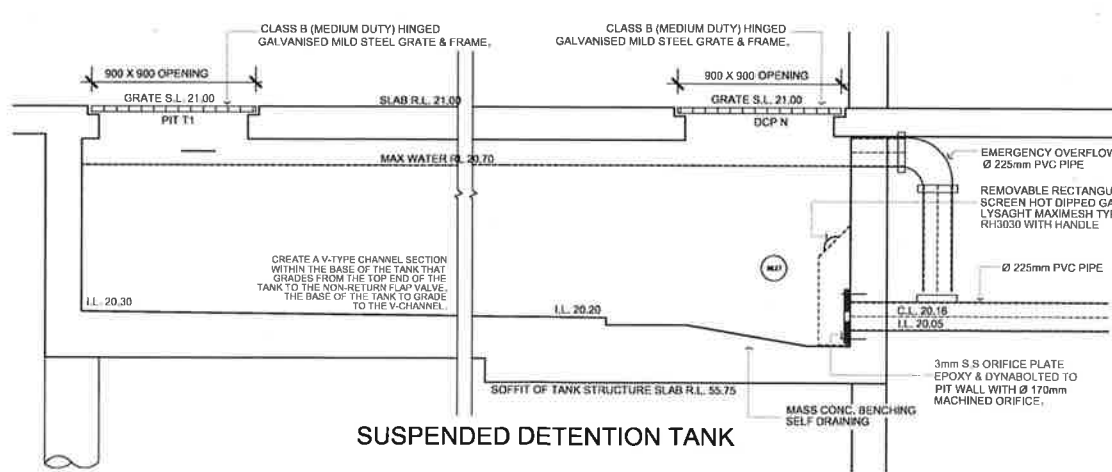
PROVIDE A STORMWATER TREATMENT FACILITY / NUTRIENT CONTROL FACILITY. WE RECOMMEND INCORPORATING A COPA WATER PRODUCT 'CDS 0506' FOR USE OR APPROVED EQUIVALENT.



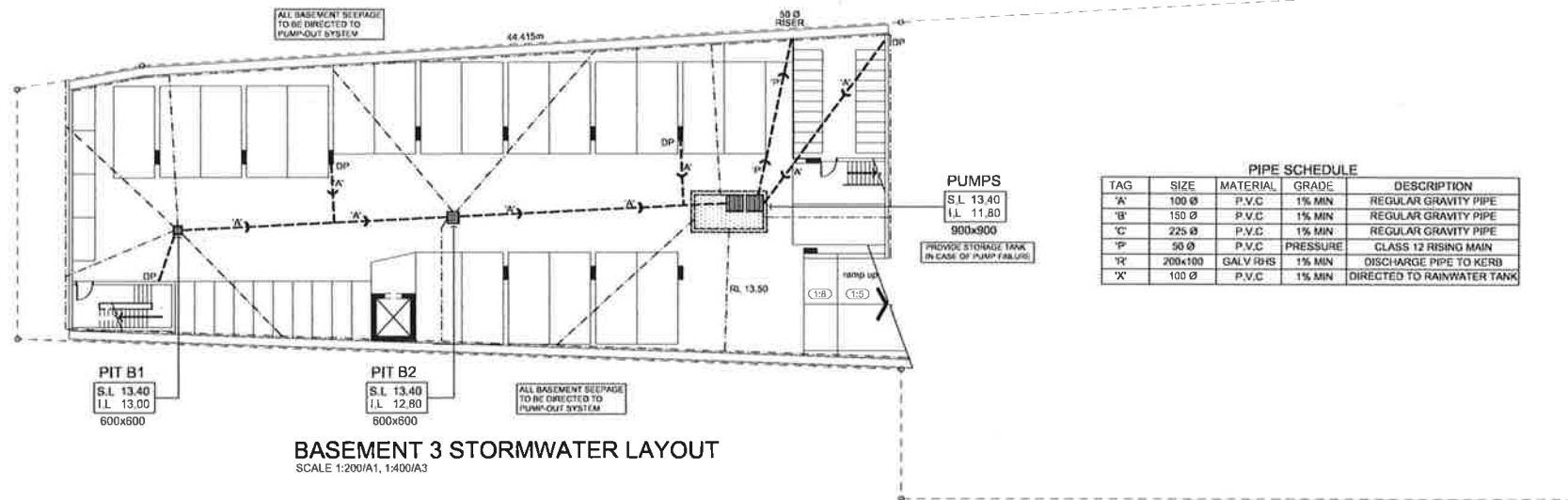
CONCEPT SITE STORMWATER LAYOUT
+ SEDIMENT & EROSION CONTROL LAYOUT
SCALE 1:200/A1, 1:400/A3



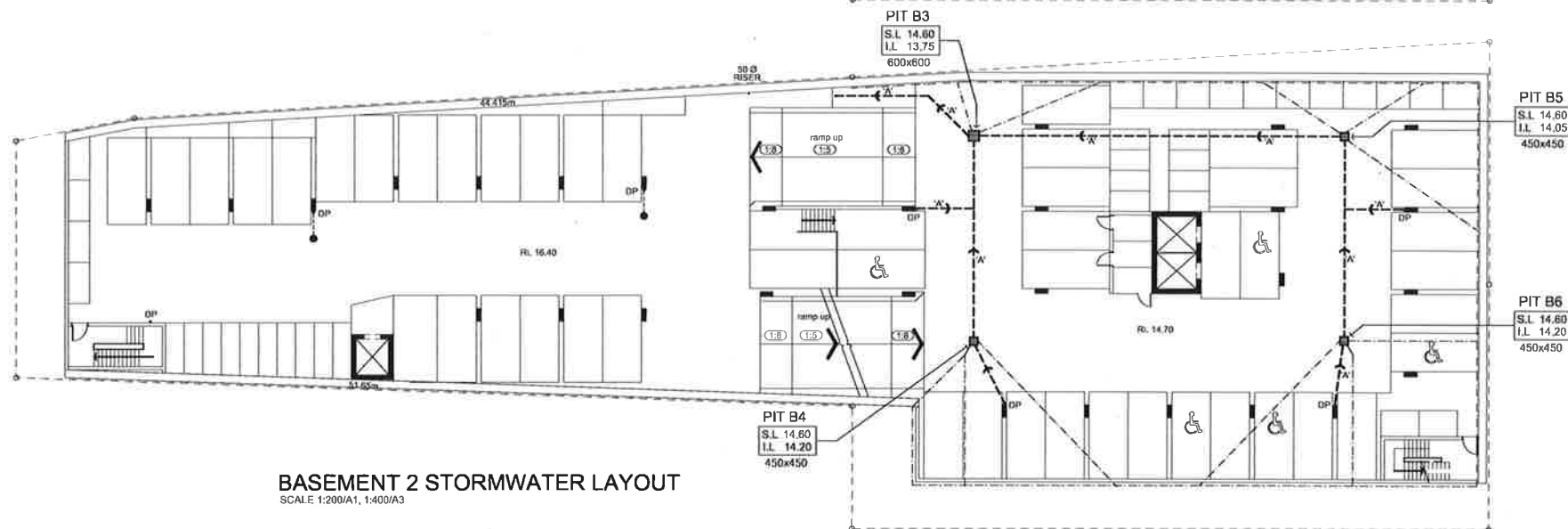
BELOW GROUND DETENTION TANK



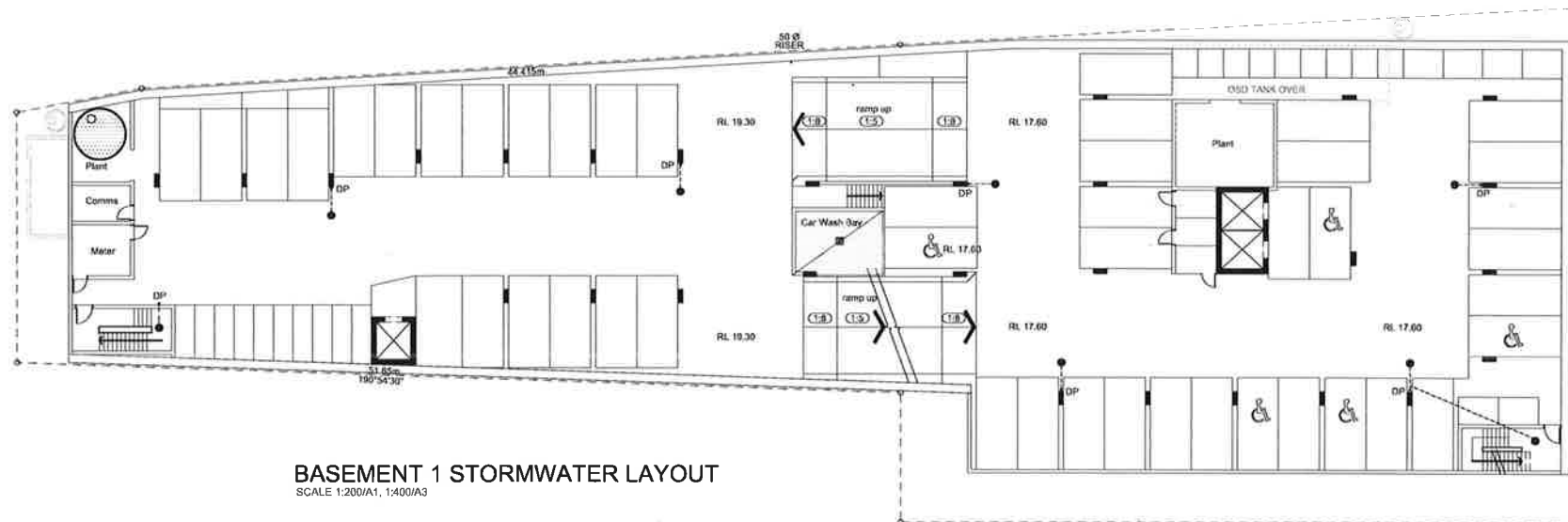
SUSPENDED DETENTION TANK



BASEMENT 3 STORMWATER LAYOUT
SCALE 1:200/A1, 1:400/A3



BASEMENT 2 STORMWATER LAYOUT
SCALE 1:200/A1, 1:400/A3



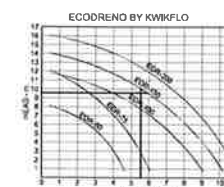
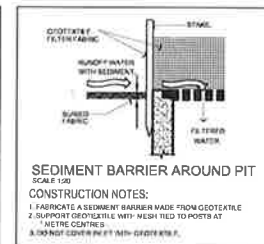
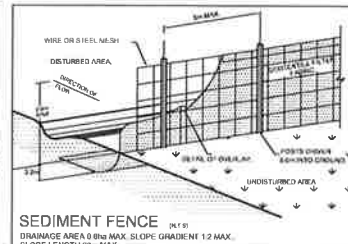
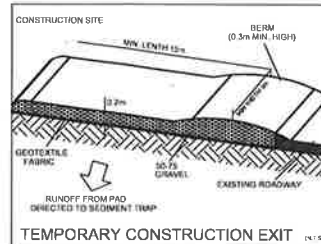
BASEMENT 1 STORMWATER LAYOUT
SCALE 1:200/A1, 1:400/A3

STORMWATER LAYOUT NOTES

- PITS DEEPER THAN 900mm TO BE 600 X 900 W. ELSE 450 Ø U.N.O.
- ALL PIPES TO HAVE 1% MIN. GRADE U.N.O.
- ALL DOWNPIPES TO BE 100 X 50 BOX.
- PIPES TO BE U.P.V.C. OR STORMWATER PIPE TO A.S.1254.
- PITS TO BE STANDARD PRECAST CONCRETE PITS OR BRICK RENDERED WITH CONCRETE HEAVY DUTY GRATES SIZED AS PITS PER PLAN.
- NO SEWER VENTS, GULLY PITS OR SIMILAR TO BE LOCATED BELOW THE MAXIMUM WATER SURFACE LEVEL IN DETENTION BASINS.
- PERSONS UTILISING THIS PLAN FOR ANY PURPOSES SHALL VERIFY THE DATUM & RESPECTIVE LEVELS PRIOR TO COMMENCING ANY WORKS & NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- DRIVEWAY LEVELS PROVIDED FOR DRAINAGE DESIGN PURPOSES ONLY. LEVELS MAY BE ADJUSTED TO SUIT FINAL HOUSE CUTFILL CONDITIONS BUT NEED TO MAINTAIN INTENT OF DRAINAGE SYSTEM. ENGINEER TO BE CONSULTED PRIOR TO CONSTRUCTION TO ENSURE INTENT MAINTAINED.
- END OF EXISTING DRAINAGE LINE TO BE EXPOSED & LEVELS CONFIRMED BY BUILDER PRIOR TO COMMENCEMENT OF WORKS.
- BUILDERS TO ENSURE SERVICES CONNECTIONS TO HOUSE DO NOT CONFLICT WITH DRAINAGE DESIGN REQUIREMENTS.
- ALL WORKS TO BE CONSTRUCTED TO GOOD BUILDING PRACTICE & MATERIALS TO MEET ACCEPTED SPECIFICATIONS.

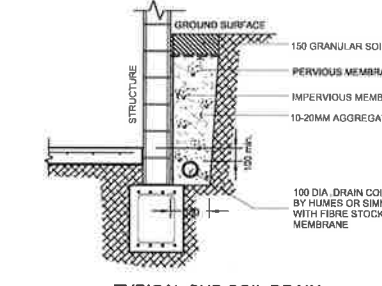
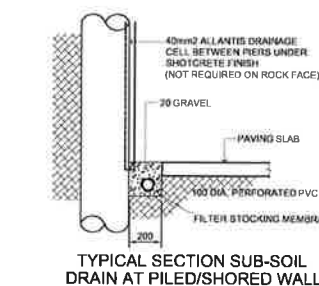
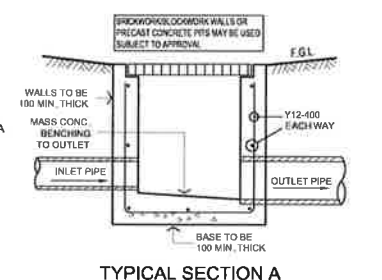
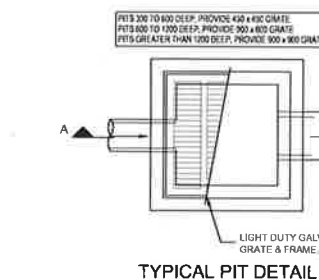
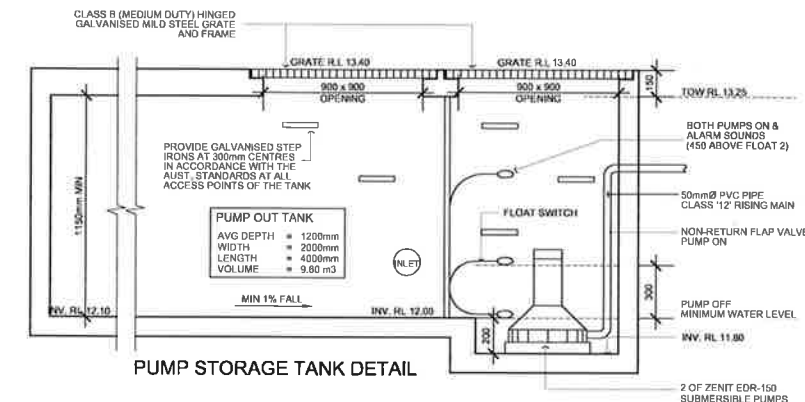
LEGEND

P1	PIT LABEL	G.F.L.	GARAGE FLOOR LEVEL
	SUMP PIT	• 0.00	EXISTING REDUCED LEVEL
	300SQ/300 Ø FLOOR GULLY	• R.L. 157.00	PROPOSED REDUCED LEVEL
	100/150 Ø GARDEN GULLY	• DP	DOWNPIPE
	DRAINAGE PIPE	• SP	SPLITTER/SPREADER
	AERIAL PIPE	• AG	CLEANING EYE
	SURFACE LEVEL	• AG LINE	SEDIMENT FENCE
	INVERT LEVEL	• OVERLAND FLOW	
	FINISHED FLOOR LEVEL		



STANDARD PUMP OUT DESIGN NOTES

- THE PUMP OUT SYSTEM SHALL BE DESIGNED TO BE OPERATED IN THE FOLLOWING MANNER:-
- THE PUMPS SHALL BE PROGRAMMED TO WORK ALTERNATELY SO AS TO ALLOW BOTH PUMPS TO HAVE AN EQUAL OPERATION LOAD AND PUMP LIFE.
 - A LOW LEVEL FLOAT SHALL BE PROVIDED TO ENSURE THAT THE MINIMUM REQUIRED WATER LEVEL IS MAINTAINED WITHIN THE SUMP AREA OF THE BELOW GROUND TANK IN THIS REGARD THIS FLOAT WILL FUNCTION AS AN OFF SWITCH FOR THE PUMP.
 - A SECOND FLOAT SHALL BE PROVIDED AT A HIGHER LEVEL, WHICH IS APPROXIMATELY 300mm ABOVE THE MINIMUM WATER LEVEL, WHEREBY ONE OF THE PUMPS WILL OPERATE AND DRAIN THE TANK TO THE LEVEL OF THE LOW LEVEL FLOAT.
 - A THIRD FLOAT SHALL BE PROVIDED AT A HIGH LEVEL, WHICH IS APPROXIMATELY 450 ABOVE FLOAT 2 THIS FLOAT SHOULD START THE OTHER PUMP THAT IS NOT OPERATING AND ACTIVATE THE ALARM.
 - AN ALARM SYSTEM SHALL BE PROVIDED WITH A FLASHING STROBE LIGHT AND A PUMP FAILURE WARNING SIGN WHICH ARE TO BE LOCATED AT THE DRIVEWAY ENTRANCE TO THE BASEMENT LEVEL. THE ALARM SYSTEM SHALL BE PROVIDED WITH A BATTERY BACK-UP IN CASE OF POWER FAILURE.



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DRAWING: BASEMENT STORMWATER LAYOUTS

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B	A	ISSUED FOR DA - TO SUIT COUNCIL'S REQUESTS (2ND OSD)	22/08/14
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